

GAINES CHARTER TOWNSHIP
PLANNING COMMISSION – REGULAR MEETING
Township Board Room - 8555 Kalamazoo Ave. S.E. Caledonia, MI 49316

DRAFT Agenda

7:00 p.m. – Thursday, March 28th, 2024

- I. Call to Order and Roll Call**
- II. Consideration of Agenda**
- III. Consideration of Meeting Minutes**
 - a. Consideration of February 22nd, 2024, Planning Commission Regular Meeting Minutes
- IV. Inquiry of Conflict of Interest**
- V. Public Comment**
- VI. New Business**
 - 1. Public Hearings**
 - a. 2023 Stoneco Annual Review
 - b. 8808 Eastern Avenue – Special Use Permit/ Site Plan Review
 - c. 9889 East Paris Avenue – Special Use Permit
 - 2. Site Plan Review**
 - a. 6141 East Paris Avenue – Stone Pro Warehouse/ Office
 - b. 3316 68th Street – Dutton Center PUD, Preliminary Review
 - 3. Items not requiring a Public Hearing**
 - a. 8269 Kalamazoo Avenue – Ratio Wavier Request
- VII. General Discussion**
 - a. None.
- VIII. Adjournment**

Persons with disabilities needing special accommodations should contact Kim Triplett at (616) 698-6640 one week prior to the meeting to request mobility, visual or any other assistance.

DRAFT Minutes of the Gaines Charter Township Planning Commission

Regular Meeting held February 22, 2024, at 7 pm

8555 Kalamazoo Ave., SE, Caledonia, MI 49316

MEMBERS PRESENT: Billips, Rober, Waayenberg, Wiersema, Giarmo

MEMBERS ABSENT: Thomas, Haagsma

STAFF PRESENT: Dan Wells, Community Development Director; Dakota Swan, Assistant Planner

I. CALL TO ORDER AND ROLL CALL

Chair Giarmo called the meeting to order at 7:02 PM.

II. CONSIDERATION OF MEETING AGENDA

Chair Giarmo stated that agenda item VI.1.c. had been withdrawn from the February Planning Commission meeting; after opening the floor to public comments, VI.1.c was struck from the agenda.

III. CONSIDERATION OF MEETING MINUTES

Consideration of the January 25th, regular Planning Commission meeting minutes.

Chair Giarmo expressed the need for some edits to be made to the January 25th meeting minutes. Member Wiersema echoed similar concerns and highlighted that he spoke with Assistant Planner Swan regarding corrections earlier that week.

Motion: Motion by Rober, supported by Waayeneberg to approve the minutes of January 25th, 2023, with corrections.

DISCUSSION: None.

AYES: ALL

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

IV. INQUIRY OF CONFLICT OF INTEREST

None.

V. PUBLIC COMMENT

Chair Giarmo invited anyone to speak who might've been in attendance for agenda item VI.1.c; ultimately, no public comments were made on behalf of that item.

VI. NEW BUSINESS

1. Public Hearings

a) 7610 Division – Rezone Heavy Industrial to Neighborhood Commercial Request

Chair Giarmo inquired about whether the applicant or a representative for the project was present and had any interest in speaking on behalf of the request. No individuals were in attendance on behalf of this project; subsequently, Giarmo invited Planner Wells to offer an introduction and speak on behalf of this item.

Wells stated that the applicant, Brian DeSmit is representing the landowner for this project. The goal is to rezone half of the industrial parcel in question to neighborhood commercial. Wells mentioned a staff-recommended condition that upon rezoning, the parcel gets split to prevent the parcel from having split zoning. Wells states that while we don't know exactly what type of commercial business is set to go in here, there is confidence that it will be a good use for such a busy corner within the township. Staff found that this request is contingent with the future land use plan for this area, and that it will likely be used for some type of residential neighborhood retail and services opportunity.

Planner Wells went on to state that this rezone wouldn't inflict any conflict with surrounding land uses, and that there would be no public services or facilities adversely affected by this decision. Overall staff found this proposal to be reasonable, especially considering that this parcel has been sitting vacant since the 60's. Wells states that we'd love to see investment into the Division corridor, and that this project is a good development and a step in the right direction. Wells also mentioned that attempting to instill an industrial use on this parcel would be quite challenging given the size, and that standards would be better met under the rezoning rather than the current zoning. Wells stated that staff recommends approval on this rezoning with the condition of a land division occurring at least 60 days after board approval and invited the planning commissioners to ask any necessary questions.

Chair Giarmo opened the Public Hearing for comments; there were no comments to be made, and shortly after it was closed. Chair Giarmo then invited the Planning Commissioners to discuss this proposal.

Commissioner Rober inquired about the history of the parcels zoning categorization and if it has always been industrial, to which Planner Wells responded that it was rezoned at some point and there may have been a bakery in the area, however it has been industrially zoned for upwards of 50 years.

Chair Giarmo inquired about how long the property has been vacant, and Planner Wells confirmed that it has sat vacant since approximately the 1960's.

Motion: Motion by Waayenberg, supported by Billips to make a positive recommendation to the Board of Trustees to approve the rezoning of this parcel from heavy industrial to neighborhood commercial, with a condition that the parcel must undergo a land division within 60 days after board consideration.

DISCUSSION: None.

AYES: Giarmo, Billips, Rober, Waayenberg, Wiersema

NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

b) 2096 76th Street – Jack’s Landscaping Special Use Permit/ Site Plan Review

Chair Giarmo introduced the request and specified that the Planning Commission has reviewed this application in meetings that took place in years prior. Giarmo then invited the applicant or a representative on behalf of the applicant to go over the highlights of the request.

Seth Arthur, a legal representative on behalf of the applicant, took to the podium and highlighted the applicant’s position on this request. Jack’s Lawncare is requesting two Special Use Permits to construct a 12,012 square foot commercial building, and to operate a lawncare business in an Agricultural/ Rural-Residential zoning district. Arthur went on to say that there are three key reasons why the applicant believes the Planning Commission should feel compelled to approve the request, which are as follows:

First, the Planning Commission (PC) has already granted approval to this project in the past. In June 2015, this application was approved, and subsequently was granted an extension in 2016 and 2017 to account for the time between PC approval and construction being ready to begin. In 2018, the applicant was invited to return for Planning Commission consideration rather than being granted another extension. Arthur emphasized that no details pertaining to the applicant’s request have changed, thus, the Planning Commission should feel compelled to grant the same approval they previously had.

Second, other properties within the A-R zoning distinction had been previously granted approval for the same type of accessory buildings and similar special uses. Arthur used D&N Landscaping, located at 3540 76th Street, and Outdoor Logistics, located at 8757 Hanna Lake Avenue, as examples. He stated that they were both granted Special Use Permits approval for oversized accessory buildings and their associated uses, and to deny Jack’s Lawncare the same approval would be to treat them differently than other similar applicants. He stated that denying this Special Use Permit request would potentially violate the applicants’ rights under the Equal Protection Act, since there is “no rational basis” on which to deny this request. Arthur used McDonald Plumbing, located at 7791 Eastern Avenue, as an example to justify their position as well.

Third, many neighbors and adjacent property owners approve of the request and speak highly of Jack’s Landscaping as a neighbor. Letters from neighbors in support of the request were provided to the Planning Commission by Arthur. Arthur went on to say that these reasons alone should compel the Planning Commission to grant the applicant approval; he then referenced several concerns related to the standards of review within the Staff Memo.

Most notably, standard of review 19.8 B was addressed on the basis that this request is not consistent with the Future Land Use Plan; this parcel is designated as Suburban Residential, but this request is for commercial use. Arthur argued that the proposed Special Use is consistent with the Future Land Use Plan and the Master Plan and that approving this request wouldn’t detract from future development. He argued that this Special Use would service the residential developments the Master Plan seeks to bring into fruition within the area, therefore this request is reasonably related and supplemental to the master plan.

Additionally, item 19.8 E was referenced and pertains to whether a bad precedent would be set by approving this request – Arthur argued that granting approval to this request would not be setting a bad precedent on the basis that two similar requests have already been granted approval in the A-R zoning district, therefore the precedent has already been set. Arthur encouraged the Planning Commission to follow the precedent that they’ve already set by approving the two other similar requests, and this request itself in years prior.

Arthur closed by highlighting that within the Staff Memo, denial was not recommended, but rather a recommendation was made to the Planning Commission to make an informed decision given the supporting documents for this application and the examples used. He encouraged the Planning Commissioners to “consider the competent material and substantial evidence on the record” and grant the applicant approval for the two Special Use Permits.

Chair Giarmo invited Planner Wells to address the townships’ point of view on this application. Wells stated that Arthur did a good job providing an overview of the standards addressed in the staff review, however, using D&N Landscaping as a reference was not entirely applicable. D&N Landscaping is far smaller of an operation, only 5-10 employees are running equipment as opposed to 20. Additionally, the accessory building in question is being repurposed for lawn care capabilities; it was originally built for agricultural use rather than commercial use.

Wells went on to say that McDonald Plumbing was similarly not a great example because it is not a permitted operation under the current Zoning Ordinance, however, the use of Outdoor Logistics as reference for the applicant’s argument was an appropriate and applicable example.

Planner Wells provided clarification on the previous denial of this application and how it pertains to the township’s stance on this most recent request for a Special Use Permit; ultimately, the Planning Commission denied this request because it was “out of scale” and would serve as a commercial operation. He also responded to Arthurs concerns regarding whether this is a subordinate use to the single-family dwelling on the parcel. Wells stated that if one were to hypothetically evaluate the scale of the proposed operation and receive evaluation from an assessor, it would be likely that the single-family dwelling would be found to be a subordinate use.

Under the current Zoning Ordinance, there are no standards by which to determine subordinate uses, and Wells stated that this leaves room for interpretation. In terms of setting precedent for future requests that might be similar, Wells mentioned that an influx of development is headed this way, and encouraged the Planning Commission to debate where this issue might fall.

Chair Giarmo proceeded to open the Public Hearing for agenda item VI.1.b.

Reverend Shelly Duncan of 2105 76th Street took to the podium to voice her disdain for the approval of this Special Use Permit. She stated that most neighbors are accepting of this project, however she is not; she stated that the dwelling unit on the property is rented out by the applicant, so it’s reasonable to assume the occupants wouldn’t stand in opposition to their landlord’s project. Duncan went on to state that there is significant noise in the area from the business already, and that she would like to see the applicant stop attempting to bring a commercial use into their community.

David Duncan, Reverend Shelly Duncan’s husband, also located at 2105 76th Street, took to the podium to express his concerns. He stated that he believes this is no longer a family business but a commercial

business, and he believes they need to relocate to an industrially zoned area given that their operation does not function as a residential use or look residential. He voiced displeasure with the uptick in equipment being stored on the property, and the number of “irresponsible” incidents, such as burn piles being left out and seemingly unmonitored. Duncan also mentioned that increases in traffic and noise are due to not only employees coming in and out, but also contractors and trucks with trailers frequently visiting the operation. Duncan expressed that the total square footage between the new proposed building in addition to the two other accessory buildings is concerning, and that he’d like to see them relocate to an industrial area where businesses of this nature can be adequately accommodated.

Dave Offringa of 2244 76th Street approached the podium next to speak in favor of Planning Commission approval for these two Special Use Permits. He stated that he has been a neighbor to this property since 1987, and that if this was approved, he would be aware of and affected by any future implications. Offringa mentioned that during Planning Commission consideration two years ago, he spoke in opposition of this request, however, his mind has changed because he’d rather see a local business expand in this area than a housing development. On the topic of noise, Offringa argued that 150 houses would generate more noise than this operation, and that over time it is expected that a family-owned business would evolve and change.

After speaking with his client, Arthur returned to the podium to contribute to the public hearing and stated that if the biggest concern for the community and the Planning Commission is the sheer size of the building, the applicant would be willing to work with the townships Planning and Zoning Department to make this request palatable for the adjacent property owners and reduce the footprint of the building.

Giarmo closed the public hearing and subsequently opened deliberation amongst the Planning Commissioners; to begin, she sought clarification about the provided Site Plan and if there were any additional materials depicting the aesthetic appearance of the building. There were not any additional materials, so the Planning Commission used the additional Site Plan materials from March 2022 as reference. Commissioner Wiersema confirmed that the materials from 2022 were applicable and could be used to accurately depict the most recent project.

Commissioner Rober began discussion by stating that prior denial was likely for good and well-informed reason. She also stated that since previous denial, there has been significant rezoning within the township, and she’s confused as to why the applicant is so interested in expanding within this parcel as opposed to another area within the township. Rober followed this up by saying that she considers a landscape business to be a use that you bring into the area for services rather than keep in the area alongside residential developments.

Commissioner Billips echoed Robers’ position and added that while its excellent that a local business has grown to this capacity, perhaps it has outgrown this specific area. She highlighted the distinction and difference between a small family-owned business being in the neighborhood as opposed to a commercial operation. In reference to the public comments submitted by Arthur and the applicant on behalf of neighbors in the area, Billips stated that she isn’t convinced four endorsements for approval are enough to provide an accurate representation of neighbors’ thoughts on this matter.

Commissioner Wiersema added to the discussion by mentioning that when this request came to the Planning Commission in 2022, he supported the denial of this request based on changes made within

the Master Plan, and how this parcel is designated as suburban within that. Wiersema also mentioned that he had concerns with the proposed vegetative buffer on the west side of the property back in 2022. He stated that his other concern with this request is the primary use on this property being commercial rather than residential; regarding standard 19.9 K, this commercial use wouldn't necessarily be considered subordinate to the single-family dwelling on the property. Wiersema spoke highly of the business that the applicant conducts, however, there may be a different location better suited for this.

Commissioner Waayenberg expressed that he struggles with this decision because while a precedent may have been set with the example of D&N Landscaping, although there is no dwelling on that property, one would be foolish to *not* consider this application as being intended for commercial use. Waayenberg mentioned his concerns pertaining to the number of employees and parking spaces that were proposed in this application and emphasized that he believes commercial businesses belong in industrially zoned areas. He also expressed that he doesn't believe he had enough evidence to justify fully denying this request.

Chair Giarmo inquired about the number of employees frequenting the premises in the summer months; President of Jack's Lawncare, Bruce Vandervennen responded and said that there are about 20. Chair Giarmo then asked about arrival times; Vandervennen said that they begin operations around 7:30-8am, but changed their start time to accommodate traffic generated by the school nearby, and their day typically ends around 5 or 6pm. Giarmo sought clarity on arrival times in winter months due to the unpredictability that comes with snow, and Vandervennen stated that employees will arrive at the premises during the night and leave after about 7 or 8 hours.

Chair Giarmo expressed concerns regarding the scale of the building, and the associated commercial use rather than it being used for residential recreational storage, and echoed Commissioner Wiersema's concerns about the proposed landscape buffer. She voiced that implementing a condition to scale the building back may be doing the applicant and their business a disservice, because it is likely that their business will only continue to grow. Giarmo explained the conflict between wanting local businesses to thrive while simultaneously attempting to yield other pressures on the township.

Waayenberg addressed the ambiguity associated with attempting to define the difference between a family business and a commercial operation; under the current Zoning Ordinance, there is no clear answer and much room for interpretation.

Giarmo went on to voice that while there are options to mitigate the impact of the use, again, it could be doing the applicant a disservice in case they feel inclined to expand further as time goes on; if the applicant cannot grow further on this site, perhaps relocation would be a better option. Vandervennen states that no more expansion is anticipated within this parcel beyond the proposed accessory building.

Chair Giarmo also expressed hesitancy towards the size of the proposed building because it would arguably be a subordinate use to the single-family dwelling on the property. While she understands and wants to support a vibrant local business, Giarmo is concerned that the area has changed and may not be appropriate for this use at this proposed scale.

Chair Giarmo invited the Planning Commission to make a decision to either approve, deny, or table the applications for two Special Use Permits. Planner Wells reminded the applicant and the Planning

Commission that denial would prevent the applicant from reapplying with the same plan for one year, however, if substantial changes were made the Planning Commission could reconsider sooner.

Commissioner Rober added that if substantial changes were made and the impact of the building was mitigated, there would still be the same number of vehicles and employees just operating out of a smaller space.

Wiersema explained that while he's enthused to see a local business growing, he is concerned about the commercial nature of this request and the intended intensity of the use within this parcel.

Commissioner Waayenberg and Planner Wells took some time to discuss how Outdoor Logistics wouldn't be considered as intense of a commercial use due to the scale of their operation, and how the proposed use in conjunction with the scale of this application is the cause for concern. Wells also addressed the matter of precedence, and how if this application is granted approval, there would be probable cause to grant approval to landscaping businesses of similar scale that may come to the Planning Commission and request similar uses in the future.

Giarmo, Rober, and Waayenberg all agreed that the scale alone isn't cause for concern, it's the intensity and use of the accessory building given the location. Additionally, Giarmo mentioned the relevancy of recent changes within the Master Plan and how they impact the plan for Future Land Use categorization of this parcel.

On the topic of traffic, Waayenberg added that this stretch of 76th Street is already quite dreadful, and any additional increases in traffic would be less than desirable.

VanderVennen returned to the podium to offer a closing statement and mention that all the closest adjacent property owners approve of this request and would rather see this type of development instead of a housing development.

Wiersrema stated that overall, his biggest concerns pertain to maintaining consistent with the intent of the Master Plan, and how granting approval to this commercial operation would set a precedent for future applications.

Motion: Motion by Wiersema, supported by Billips to deny the applicant's two Special Use Permits and Site Plan Review.

DISCUSSION: Motion based on the nature of the commercial business, changes made to the Master Plan/ what is anticipated for the future of the township, and the issue of setting precedence that the single-family dwelling could be subordinate to the commercial use on the property.

AYES: Giarmo, Billips, Rober, Wiersema

NAYS: Waayenberg

ABSTAIN: None

DECISION: Motion Carried (4-1)

VII. GENERAL DISCUSSION

- a) Wells said that in sifting through last year's minutes, Staff found inconsistencies with how votes were documented. He invited the Planning Commission to deliberate and decide whether the Chair of the Commission gets to vote and how votes should be documented for the record.

Chair Giarmo inquired about if the Chair of the Board of Trustees votes, to which Wells confirmed that they do. Giarmo stated that she would assume the Board of Trustees would want her to cast a vote in Planning Commission motions. She stated that she views her vote as a way of maintaining accountability and transparency with the township regarding her thoughts and beliefs on issues that come to the Planning Commission.

Ultimately, the Planning Commission agreed that inconsistencies in how votes were recorded must've been an error, because as far as they can recall, every member of the Commission has always voted.

Giarmo inquired about how the township's Zoning Ordinance (ZO) Steering Committee is doing. Planner Wells explained that he's spent time collaborating with the township's Planning Consultant, David Jirousek, on finely sifting through the revisions. Wells also said that agenda item VI.1.b was an excellent example of something that the ZO Steering Committee should deliberate, define, and clearly establish in the revisions being made to the Zoning Ordinance. Wiersema commented that defining solid criteria around what defines a commercial use would be beneficial in guiding future development in the township, and Giarmo added that it would provide clarity for residents seeking Special Use Permits in the future.

Chair Giarmo inquired about the Annual Stoneco Review, and Planner Wells reassured her that it will be on the agenda for next month's meeting. Wells went on to mention that in March the Planning Commission will be addressing a site plan review at 6141 East Paris, and that staff anticipates the Thornapple Village PUD from January will resubmit materials and return for Planning Commission consideration in March.

VIII. ADJOURNMENT

The meeting adjourned at 8:22 PM.

Gaines Charter Township

Planning Commission Memo

Meeting Date: March 28th, 2024

AGENDA ITEM: VI.1.a

FILE NUMBER: 240112GS

PROPOSED REQUEST: Annual Review 2023 and
Operating Plan for 2024

PROPERTY ZONING DISTRICT: "PUD-MR"
Planned Unit Development – Mineral Removal

ADDRESS: 1856 100th Street SE

PROPERTY SIZE: 72 Acres

PARCEL NUMBER: 41-22-33-100-022

REPORT BY: Dan Wells, Community
Development Director

APPLICANT: Garrett Singer for Stoneco



OVERVIEW

StoneCo Ltd. has provided their Annual Operating Plan for 2024 as required by Section 12.12 and 12.13 of the Zoning Ordinance (and by reference Sections 12.9B and 12.10). The Annual Operating Plan is also a requirement of the approving Resolution 2019-11.

The current overall mining operation includes multiple properties in Sections 32 and 33 of the Township covering approximately 434 acres. A significant portion of the acreage has been restored and/or is being developed as a wetland mitigation bank by the Kent County Road Commission in partnership with StoneCo.

The site located at 908/1070 100th Street was originally approved in 1992 under the name of Thompson McCully, and has since been referred to as Michigan Materials & Aggregate, and presently StoneCo. The initial end date for mining activities was planned for April 23, 2012. In 2011, the operation received extensions to a revised end date for mining activities of January 1, 2020; which has subsequently been extended for the processing, stockpiling, and loading of materials as StoneCo has continued mining activities on adjacent properties including what is known as the Heintz property (1264 100th Street).

Also, in 2012 an amendment was approved that added a Kent County Road Commission (KCRC) parcel to the mining operation. The KCRC twenty-acre parcel is located east of the original StoneCo mining operation with frontage on the west side of Pease Street. At that same time, StoneCo transferred 60.25 acres of their property extending from Eastern Avenue to the KCRC parcel, to the KCRC. While StoneCo maintains operational control over the 80 acres that is now owned by KCRC, it is KCRC's intent to create a EGLE approved "wetland bank" over much of the 80-acre KCRC holding, and will become permanent open space as a wetland bank.

In February 2016, the StoneCo PUD was again amended and properties at 10175 Kalamazoo Avenue & 1560 100th Street were added to the operation. Much of the site had been previously zoned PUD-MR, but the designation had expired. Excavation on those properties commenced in 2016 and work continues in 2020 with the focus being on reclamation. The only operations expected to continue on the areas west of Pease Street in 2019, 2020, and beyond are processing of materials and continued reclamation of disturbed areas.

In August 2019 the Township Board approved StoneCo's request to rezone approximately 43 acres of land from A-B, Agricultural/Agri-Business to PUD-MR Mineral removal with conditions. The rezoning authorized the eastward extension of their existing gravel mining operations, across Kalamazoo Ave. and along the south side of 100th street (AKA the Barnaby property).

In 2023, another PUD rezone was approved for mine expansion on the 29-acre parcel at 10287 Kalamazoo Ave (AKA the Jeplawy parcel). This parcel will be subject to a separate annual review since it was approved in July of 2023.

2023 REVIEW

The estimated amount of materials mined from the site in 2023 was 108,000 tons of sand and gravel.

All economically viable sand and gravel reserves have been mined at the parcel and the site will be closed. Closure plans for 2024 include removing fencing, collapsing the berms that were formed from topsoil stockpiling into the open pit and recontouring slopes to a 1:3 minimum slope. Slopes will then be

reseeded to prevent erosion. The existing entry road will be reconditioned for agricultural use standards in late 2024 or 2025.

STANDARDS OF REVIEW

The request has been reviewed using the applicable review standards of Sections 12.12 Submittal Requirements for Annual Operating Plan and 12.13 Review Standards for Annual Operating Plan, and the request has been reviewed using the applicable requirements contained in Resolution 2019-11, Section 7, paragraph gg.

Standard #1 – Requirements of Section 12.12

Section 12.12 of the Zoning Ordinance covers the annual operating plan submittal requirements and includes a reference back to Section 12.9 and an operation plan for the applicant.

Meets standard of Section 12.12 (and by reference Section 12.9).

Standard #2 – Requirements of Section 12.13

StoneCo has submitted maps/plans of the subject properties showing the limits of mining activity in 2023, and the area where reclamation activities will continue in 2024.

Meets Standards of Section 12.13 (and by reference Section 12.10).

Standard #3 – Requirements of Resolution 2019-11, Section 7, paragraph gg.

The resolution contains the same requirements as Section 12.10, Section 12.12, and Section 12.13 of the Zoning Ordinance but also contains additional detail regarding the permitted mining activity. Staff is unaware of any violations of the 33 standards contained in paragraph (gg) of the Resolution.

The Sand & Gravel Subcommittee gave a positive recommendation for PC consideration and determined it meets standards of Resolution 2019-11.

STAFF RECOMMENDATION

The Sand & Gravel Subcommittee met on February 6th, 2024, to review the operating and closure plan and determined the 2023 report and Annual Operating Plan for 2024 met the standards of Sections 12.12 and 12.13 of the Zoning Ordinance.

Staff recommends approval of the annual operating plan for 2024 based on the applicant's compliance with the requirements of the Zoning Ordinance and Resolution 2019-11.

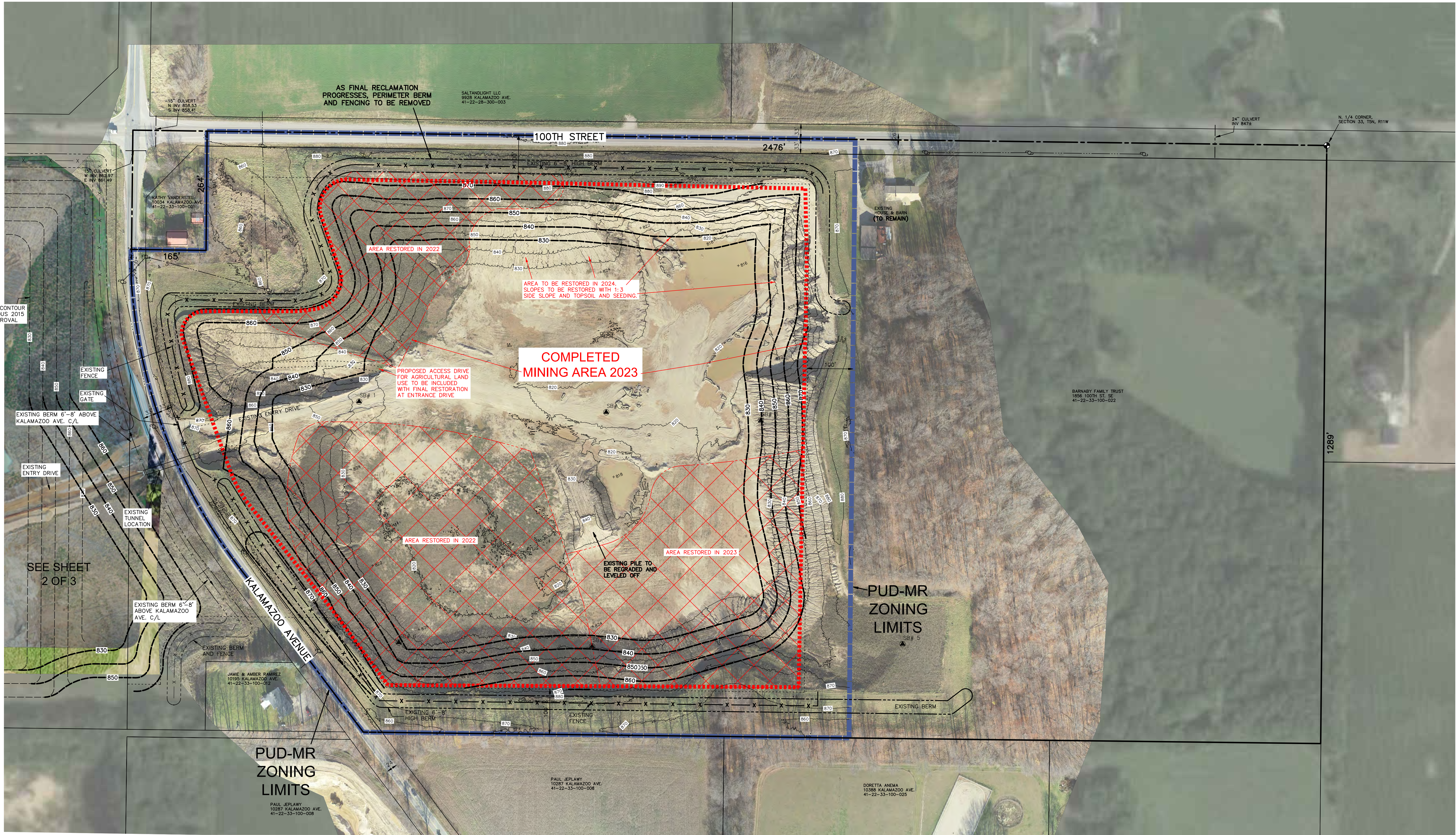


Tel: (734) 777-3874
Fax: (734) 241-3636
3700 Patterson Road
Middleville, Michigan 49333
www.stoneco.net

Closure Plan for "Barnaby"
**STONECO 100th STREET OPERATION – 900 100th STREET,
BYRON CENTER, MICHIGAN 49315
January 11, 2024**

Stoneco has completed all Mining on the Barnaby parcel located east of Kalamazoo Avenue. Currently Stoneco is working on reclamation of the pit in accordance with the mining permit issued by Gaines township and the SESC permit with Kent County.

Current Plans are for, during the winter and spring of 2024, Earthwork will be started with the creation of slopes in accordance with the permit with a 1:3 slope. The fencing will be removed as the berms are pushed in to provide topsoil for the slopes followed by seeding on the slopes for slope stability in the spring. There will be an access drive for agricultural equipment left. The end use and final reclamation of the culvert that goes under Kalamazoo Ave connecting the active mining area to the Barnaby parcel will be dependent on the Kent County Road Commission. Winter and Spring of 2025, Earthwork for sloping and final grading will be completed, any remaining fencing and berms will be removed and pushed in. Any additional seeding of slopes will be completed in the spring. All Reclamation activities will be in compliance with Both, Township permit and SESC permit. There are no additional requirements provided by EGLE or other agencies. See revised reclamation plan for additional details.



PROPOSED CONTOUR
PER PREVIOUS 2015
MINING APPROVAL

EXISTING FENCE

EXISTING GATE

EXISTING BERM 6'-8' ABOVE
KALAMAZOO AVE. C/L

EXISTING ENTRY DRIVE

EXISTING TUNNEL
LOCATION

SEE SHEET
2 OF 3

EXISTING BERM 6'-8' ABOVE
KALAMAZOO AVE. C/L

EXISTING BERM AND FENCE

JAMIE & AMBER RAMIREZ
10195 KALAMAZOO AVE.
41-22-33-100-012

PUD-MR
ZONING
LIMITS

PAUL REPLAWY
10287 KALAMAZOO AVE.
41-22-33-100-008

COMPLETED
MINING AREA 2023

AREA RESTORED IN 2022

AREA TO BE RESTORED IN 2024.
SLOPES TO BE RESTORED WITH 1:3
SIDE SLOPE AND TOPSOIL AND SEEDING.

PROPOSED ACCESS DRIVE
FOR AGRICULTURAL LAND
USE TO BE INCLUDED
WITH FINAL RESTORATION
AT ENTRANCE DRIVE

AREA RESTORED IN 2022

AREA RESTORED IN 2023

EXISTING PILE TO
BE REGRADED AND
LEVELED OFF

PUD-MR
ZONING
LIMITS

SB# 5

PAUL REPLAWY
10287 KALAMAZOO AVE.
41-22-33-100-008

DORETTA ANEMA
10388 KALAMAZOO AVE.
41-22-33-100-025

SOIL BORING LOG

Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

Sand	7'
Gravel	10'
Water	N/A

Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

Sand	7'
Gravel	10'
Water	N/A

Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

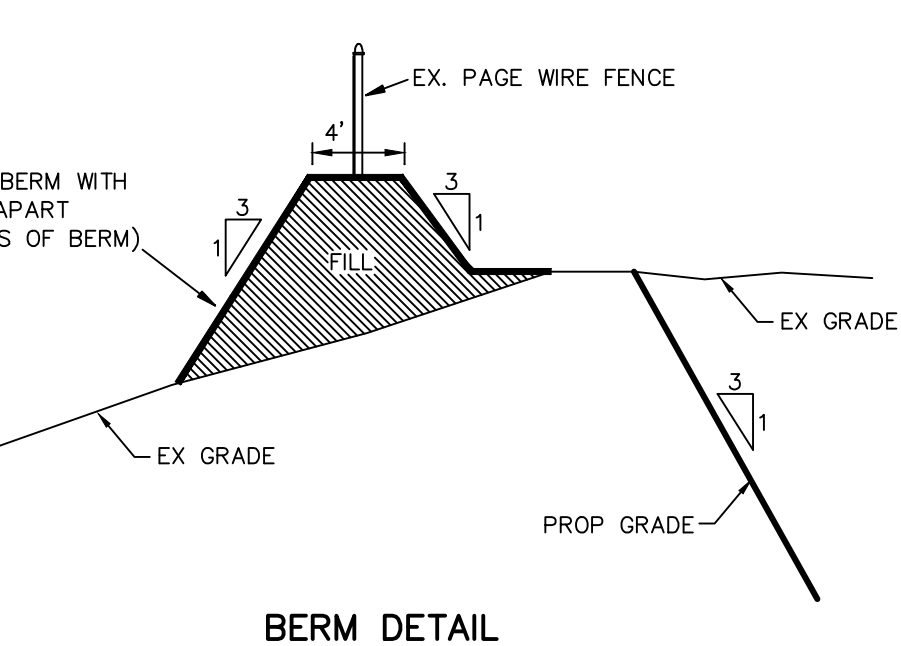
Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

Sand	7'
Gravel	10'
Water	N/A

Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

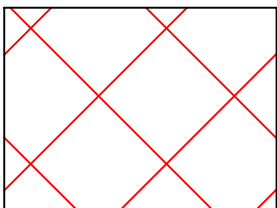
Depth	Material	Notes
0'-0"	Top Soil	
0'-10"	Sand	
10'-15"	Sand w/ 20-30% Stone	
15'-20"	Sand w/ 20-30% Stone	
20'-25"	Sand w/ 20-30% Stone	
25'-30"	Sand w/ 20-30% Stone	
30'-35"	Sand w/ 20-30% Stone	
35'-40"	Sand w/ 20-30% Stone	
40'-45"	Sand w/ 20-30% Stone	

Sand	7'
Gravel	10'
Water	N/A

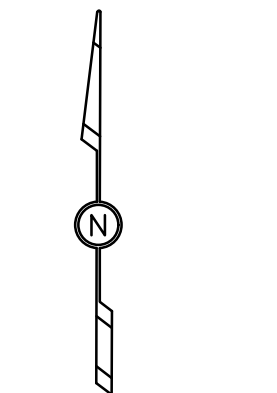


BERM DETAIL

RECLAMATION SCHEDULE
WINTER 2023-2024: A MAJORITY OF THE GRADING FOR
RESTORATION AND SEEDING WILL BE ACCOMPLISHED.
WINTER 2024-2025: FINAL RESTORATION AT ENTRANCE DRIVE.



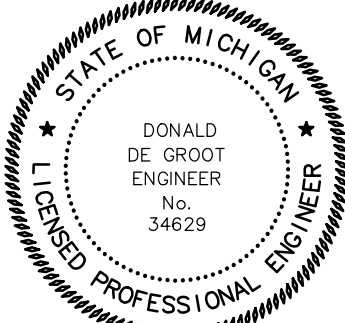
= RESTORATION AREA



SCALE: 1" = 100'

10' CONTOUR INTERVAL

BACKGROUND PHOTO WITHIN PARCEL LIMITS IS
FROM DRONE FLIGHT BY STONECO NOV. 2023



LEGEND

- X --- = UTILITY POLE & GUY WIRE
- SB# X = SOIL BORING
- + 80' = EXISTING ELEVATION
- 820 --- = EXISTING CONTOUR PER DRONE FLIGHT BY STONECO NOV. 2023
- 830 --- = PROPOSED CONTOUR

MINING PLAN – OPERATION PLAN 2023/2024
STONECO OF MICHIGAN – 100TH STREET OPERATION
FOR: STONECO OF MICHIGAN, INC. (EAST OF KALAMAZOO AVE.)
ATTN: GARRETT SINGER
3700 PATTERSON ROAD
MIDDLEVILLE, MI 49333
IN: PART OF SECTIONS 32 & 33, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

REVISIONS:

12/21/23	OPERATION PLAN 2024/2025 (JDR)
11/09/22	OPERATION PLAN 2022/2023 (JDR)
12/08/20	OPERATION PLAN 2020/2021 (JDR)
6/26/19	EXTEND SOUTH BERM (JDR)
4/9/19	REV. SLY BERM (JDR)
1/10/19	REV. PER TOWNSHIP (JDR)

excel engineering, inc.
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 www.excelengineering.com

DRAWN BY: JDR
APPROVED BY: DDG
FILE NO.: 171931E

PROJ. ENG.: DDG
PROJ. SURV.: VAD
DATE: 9/27/2018

SHEET
3 of 3

Gaines Charter Township

Planning Commission Memo

Meeting Date: March 28th, 2024

AGENDA ITEM: VI.1.b

APPLICANT: Matthew VanNoord

PROPOSED REQUEST: Special Use Permits;
Landscaping Business & Accessory Building

PROPERTY ZONING DISTRICT:
Agricultural/Rural-Residential (A-R)

ADDRESS: 8808 Eastern Avenue

PROPERTY SIZE: 3.87 Acres

PARCEL NUMBER: 41-22-20-300-050

REPORT BY: Dakota Swan, Assistant Planner

FILE NUMBER: 240229MVN1 & 240229MVN2



OVERVIEW

The applicant is requesting a Special Use Permit to allow for a 4,040 SF accessory building on the property to operate a seasonal lawn care business.

Based on the zoning ordinance, the property is limited to 2,400 SF of accessory buildings, or 3% of the lot size, whichever is less.

The proposed accessory building addition will be used primarily for storage of items pertaining to the lawn care business, including equipment, materials, and a workstation.

Surrounding zoning:

	NORTH: Agricultural/Rural-Residential (A-R)	
WEST: Agricultural/Rural-Residential (A-R)	SUBJECT PARCEL	EAST: Agricultural/Agri-Business (A-B)
	SOUTH: Agricultural/Rural-Residential (A-R)	

STANDARDS OF REVIEW

The request has been reviewed using the applicable review standards of Section 19.8 “General Standards for All Special Land Uses”, Section 19.9 (K) “Landscaping Businesses”, and the specific standards of Section 20.2 (A) “Accessory Buildings – Standards for Increasing Maximum Floor Area”.

Section 19.8 General Standards for All Special Land Uses

The Planning Commission shall review the particular circumstances and facts of each proposed special use and in addition to the specific standards of consideration stated for each special use type within this Ordinance, and shall be guided in rendering a decision by the following general standards:

- A. *The proposed special use shall be sufficiently designed to maintain adequate provision for the protection of the health, safety, conveniences, and social and economic welfare of those who will use the special use, residents and landowners adjacent to the special use, and the community as a whole.*

Meets standard. The proposed accessory building will be used for storing equipment and materials used for the applicants lawn care business. Landowners and residents adjacent to the special use aren’t expected to experience any adverse effects due of the accessory building.

The applicants lawncare business is active only during the growing season. They do not do snow removal in the winter months.

- B. *The proposed special use shall be consistent with the intent of this Ordinance and the intent of the Master Plan.*

Undetermined. The 2023 Future Land Use Plan designates this parcel as Suburban Residential, accessory buildings of this nature and size are typical for the area. Although the proposed building is being used for a landscaping use, it could be easily used for residential purposes.

If it is determined that the proposed accessory building is consistent with the standards of Section 20.2 (D), then consistency with the zoning ordinance will be achieved.

- C. *The special use shall not create or substantially add to traffic hazards in the area.*

Meets standard. The proposed accessory building is intended to be used for equipment and materials storage related to the applicants lawn care business. The applicant is requesting four employee parking spaces to be paved with the drive, however, they have stated they have no intentions of expanding their staff and traffic in the area is not expected to be adversely affected.

- D. *Public services and facilities such as roads, police and fire protection, drainage structures, water and sewage facilities or schools, shall be sufficiently extended to the proposed special use such that load capacities are not exceeded.*

Meets standard. Due to the low amount of traffic, staff does not anticipate any impacts on roads, police and fire protection, drainage structures, water or sewage facilities, or schools.

- E. *The proposed special use shall not set precedents for development which could adversely affect the long-term plans or policies of the Township.*

Meets standard. Accessory buildings of this scale, while not common, are found in Suburban Residential areas of the township. A similar scale building is located in the lot next door to this one (it was also used for a home based landscaping business) and most surrounding lots have large accessory buildings.

If the Planning Commission determines that the proposed accessory building meets the standards of Section 20.2 (D), the proposed special use will not set precedents for development that adversely impact the long-term plans or policies of the Township.

- F. *The proposed special use shall not have significant adverse environmental, ecological or natural resource impacts.*

Meets standard. The accessory building is not anticipated to have any impact on the environment and natural resources. The Township Engineer reviewed the amount of proposed paving and determined that it could not require any stormwater controls.

- G. *The proposed special use shall not have significant adverse impacts upon adjoining properties or uses.*

Meets standard. The proposed accessory building addition will be located in the front yard and all minimum setback distance requirements are met. This business has been operating on the parcel for years and has not been the subject of any complaints.

The only anticipated impact will be visual, and the proposed building will be screened by existing mature woods that fill the setbacks.

SECTION 19.9 (K) LANDSCAPING BUSINESSES

Landscaping businesses are subject to the following requirements:

1. *The use must be subordinate to the single-family residential dwelling.*

Undetermined. The single-family dwelling on the property is 2,578 SF and the proposed building is 4,040 SF. The Planning Commission will need to decide whether the proposed use is subordinate to residential use in this case.

The Planning Commission should compare the square footage and scale of the two buildings in relation to each other, value of the buildings, how easy it would be to convert the proposed building to residential use after the business use is closed. Also consider that the property is owner occupied.

2. *Retail and Wholesale Sales: The Planning Commission must specifically approve on-site retail and wholesale activities. The retail and wholesale activities are limited to products used by the operator in carrying out the trade.*

Meets standard. No retail or wholesale activities will take place on site.

3. *Lighting: No freestanding light poles shall be erected or lights placed on buildings unless specifically approved by the Planning Commission. Light poles shall not exceed 20 feet in height. Light shall be directed downward and shall not reflect off the premises. The Planning Commission may prescribe time limits for lighting.*

Meets standard. The parking area/building entry lighting is proposed to be building-mounted and residential in nature. However, the mounting-style, fixture type, and color temperature are not indicated. For a rural area we recommend that color temperature is no more than 2,700 Kelvin, and lighting should be down-lit and cutoff (zero up-light on a LED B.U.G. rating).

4. *Buffers: The Planning Commission may require complete or partial screening of buildings and outside storage, activity and display areas. Required screening can include fencing, berming, a landscape buffer, or a combination of these elements.*

Meets standard. The building and parking areas are well shielded by existing trees along the south, east and west. Along the north property line, existing trees will be preserved, but the building will be visible to the neighbors in winter (building meets side setbacks).

5. *Equipment Storage: All machinery and equipment, except for motor vehicles and trailers used in the conduct of the business, shall be stored within a completely enclosed building unless expressly approved by the Planning Commission.*

Meets standard. No outdoor equipment storage is proposed. If this operation is approved, all machinery and equipment must be stored indoors.

6. *Refuse: Exterior refuse storage facilities shall be screened from view on all sides by a solid decorative fence or landscaping.*

Meets standard. No Exterior refuse storage is proposed.

7. *Outdoor Storage and Activity: The applicant must clearly indicate all outdoor storage, display, or activity areas on a site plan. These areas must meet the following requirements:*

- a. *Motor Vehicles, trailers, and stockpiled materials shall be stored a minimum of 100 feet from the front property line and 60 feet from any side or rear property line, in locations that minimize visual impacts of such materials on adjoining properties and public roads. The only activities that can occur within the required setback are employee/customer parking and growing of plants.*

Meets standard. Vehicles, trailers, and stockpiled materials will be stored indoors except employee vehicles.

- b. *Surface areas on which the outdoor storage or activity is to take place shall be reviewed for adequacy of drainage and dust control measures. The Planning Commission may require that areas be paved depending on the level of activity and or type of material or product involved.*

Meets standard. The Township Engineer reviewed the proposed building and site improvements and stated he has no concerns.

- c. *The storage of any fertilizer, chemical or loosely packed material shall be maintained and contained so as to prevent adverse effects upon adjacent properties. The Planning Commission shall consider whether other agencies' requirements are met, such as those of the Michigan Department of Environmental Quality and the U.S. Department of Agriculture.*

Meets standard. The Fire Inspector will review storage of materials.

8. *Minimum Lot and Setback dimensions:*

- a. *Front Yard: 100 feet*
- b. *Side Yards: 60 feet limited to privately owned commercial/industrial fleet sales.*
- c. *Rear Yards: 100 feet Product sales are restricted to only fuels and motor oils.*
- d. *Lot Width: 300 feet*
- e. *Lot Area: 3 acres*

Meets standard. Subsections b. and c. do not apply as there are no commercial/industrial fleet sales, nor product sales. Setbacks for the Ag-Rural zoning district are met and the lot qualifies for a landscaping business based on its size and width.

Section 20.2(D).4: Accessory Buildings – Standards for Increasing Maximum Floor Area

In considering a special use permit for an accessory building exceeding the maximum floor area, the Planning Commission shall consider the standards stated in Chapter 19 and the following additional standards:

A. *The intended use for the Building.*

Meets standard. The proposed accessory building will be used for storage for the applicants lawn care business, including materials, equipment, and a workstation.

B. *The size, proposed location, type and kind of construction and general architectural character of the Building.*

Regulation	Required Setback	Proposed
Distance from Primary Building	10 feet	Ca. 160 feet
Front Yard Setback	60 feet with Type I Buffer	60 feet with natural buffer maintained
Side Yard Setback	20 feet	20 feet
Rear Yard Setback	3 feet	Ca. 400 feet
Maximum Building Height	20 feet	20 feet

Meets standard. The setback and height requirements for the building have been met. For gable roofs, height is measured at the midpoint between the eave and the peak.

It is unclear what the color of the building addition will be, however, the applicant has stated that the architect who designed the home on the property will be designing the proposed accessory building, and intends to match the design and craftsman style of the home.

- C. *The type and kind of principal and Accessory Buildings and Structures located on properties in the same neighborhood.*

Meets standard. There are several accessory buildings similar in size to the proposed building located in the surrounding neighborhood. Properties to both the north and south of the subject parcel have similarly sized pole barns.

- D. *Whether the Building will affect the light and air circulation or views of any adjoining properties.*

Meets standard. The proposed building is not anticipated to affect light or air circulation on surrounding properties.

- E. *The reason why the applicant has requested an Accessory Building in excess of the maximum floor area.*

Meets standard. The applicant requires additional square footage for a landscaping business and storage purposes. The accessory building will not be utilized for retail business purposes, as there will be no storefront or wholesale operations occurring on the property.

- F. *The extent the Building absorbs required yards and other open spaces.*

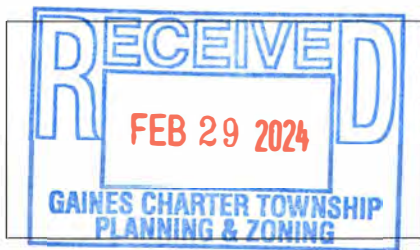
Meets standard. The total requested square footage of accessory building coverage is less than 2.5% of the total lot size.

STAFF RECOMMENDATION

Staff recommends approval of the two Special Use Permits with the following condition of approval:

1. The accessory building addition shall be architecturally similar to and the same color as the existing accessory building on the site.
2. No outdoor storage is permitted beyond the material bins noted on the plan, and trailers or other heavy equipment shall be stored indoors.

3. No retail sales are permitted.



8555 Kalamazoo Avenue SE • Caledonia MI 49316
Ph: 616 698-6640 • Fax: 616 698-2490
www.gainestownship.org

FILE NO.

240229MVN1

✓ # 2691 - \$500

✓ # 2690 - \$150

D.S.

Special Use Permit

Project Address	8808 Eastern Ave SE		
Owner Name	Matthew Van Noord		
Owner Address	Street Address	City, State, Zip	
	8808 Eastern Ave SE	Byron Center, MI 49315	
Parcel Number(s):	41-22- 20-300-050	41-22-	
Description of Proposed Project/Use	4040 sq ft accessory building for landscape business		

Applicant/Contact	Matthew Van Noord		
Applicant/Contact Address	Street Address	City, State, Zip	
	8808 Eastern Ave SE	Byron Center, MI 49315	
Contact Info	Home / Office / Cell	E-Mail	
	616-262-3588	mattvannoord@gmail.com	

"I" hereby certify to the correctness and knowledge of the information submitted and hereby agree to comply with the terms and requirements of all applicable Township ordinances. I also grant Township staff permission to enter onto the subject property in review of this application.

Signature	
Please complete the appropriate Worksheet as part of your application packet (see Staff for more information) for: Planning Commission, Zoning Board of Appeals requests, Land Divisions, Combinations or Lot Line Adjustments.	

Township Use Only

Current Zoning District:	RL-14	RL-10	R-3	R-4	C-1	C-2	O-S	I-1	I-2	PUD	A-R	A-B
One / Two Family Construction	Zoning Board of Appeals		Planning Commission		Land Combination							
Site Plan Review	Rezoning / PUD Rezoning		PUD Amendment		Land Division							
Subdivision / Site Condo Review			Special Use Permit		Lot Line Adjustment							
Other:												
Approved	Approved with Conditions		Denied		Withdrawn							
Zoning Administrator:											Date:	



8555 Kalamazoo Avenue SE • Caledonia MI 49316
Ph: 616 698-6640 • Fax: 616 698-2490
www.gainestownship.org

FILE NO.

240229MUN2

FEE
WAIVED
-DW

Special Use Permit Application

Project Address	8808 Eastern Ave SE		
Owner Name	Matthew Van Noord		
Owner Address	Street Address	City, State, Zip	
	8808 Eastern Ave SE	Byron Center, MI 49315	
Parcel Number(s):	41-22-20-300-050	41-22-	
Description of Proposed Project/Use	Special Use Permit for landscape business in Agricultural / Residential		

Applicant/Contact	Matthew Van Noord		
Applicant/Contact Address	Street Address	City, State, Zip	
	8808 Eastern Ave SE	Byron Center, MI 49315	
Contact Info	Home / Office / Cell	E-Mail	
	616-262-3588	mattvannoord@gmail.com	

"I" hereby certify to the correctness and knowledge of the information submitted and hereby agree to comply with the terms and requirements of all applicable Township ordinances. I also grant Township staff permission to enter onto the subject property in review of this application.

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Township Use Only

Current Zoning District:	RL-14	RL-10	R-3	R-4	C-1	C-2	O-S	I-1	I-2	PUD	<u>A-R</u>	A-B
One / Two Family Construction	☐	Zoning Board of Appeals	☐	Planning Commission	☐	Land Combination	☐					
Site Plan Review	☐	Rezoning / PUD Rezoning	☐	PUD Amendment	☐	Land Division	☐					
Subdivision / Site Condo Review	☐	Special Use Permit	☒	Lot Line Adjustment	☐							
Other:												
Approved	☐	Approved with Conditions	☐	Denied	☐	Withdrawn	☐					
Zoning Administrator:										Date:		

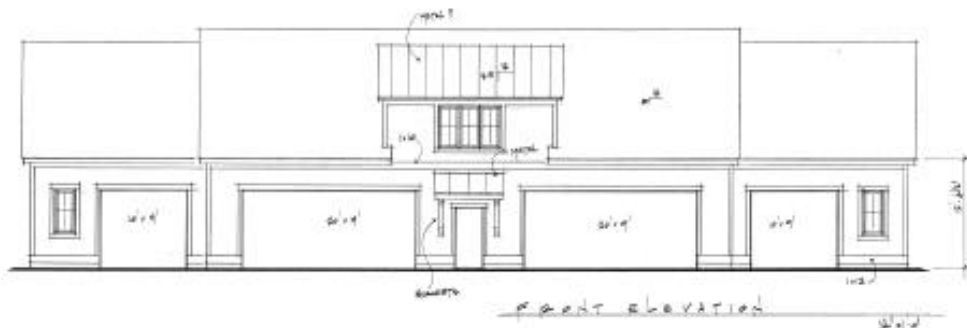
Overview

In 1997, Steve VanNood, my dad and adjacent property owner at 8824 Eastern, was granted a Special Use Permit to run his lawn care business out of his property. We have successfully run our family business from its location for 27 years without any formal complaints. As my parents look at downsizing their home in the future, we are applying for a Special Use Permit to construct a new building and run the current lawn care business at my property at 8808 Eastern Ave, where my wife and I built our house ten years ago.

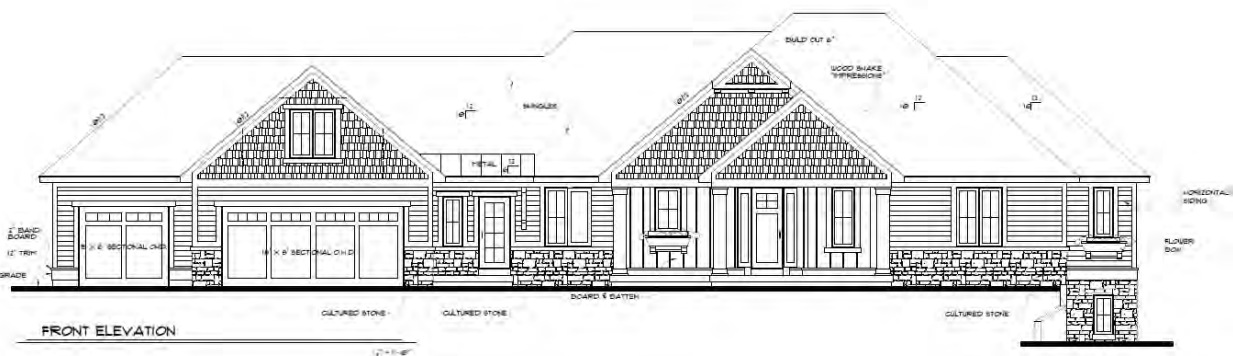
Our current building is 2880 sq ft, where we store our four lawn care pickup trucks with 10 ft utility trailers, equipment, material storage, and a workshop area.



Our proposed building is 4040 sq ft and is a larger, more attractive version of our current building.



This building was designed by our house architect, Kerry Fitzpatrick, and is intended to be aesthetically pleasing and match the design and craftsman style of our home pictured below:



My dad and I run our lawn care business, Weed and Feed Lawn Care, with four employees. We have had four employees since I started full-time in 2004 and don't plan on expanding the business. We provide lawn fertilizer to customers in the greater Grand Rapids area.

A few items to note about our business:

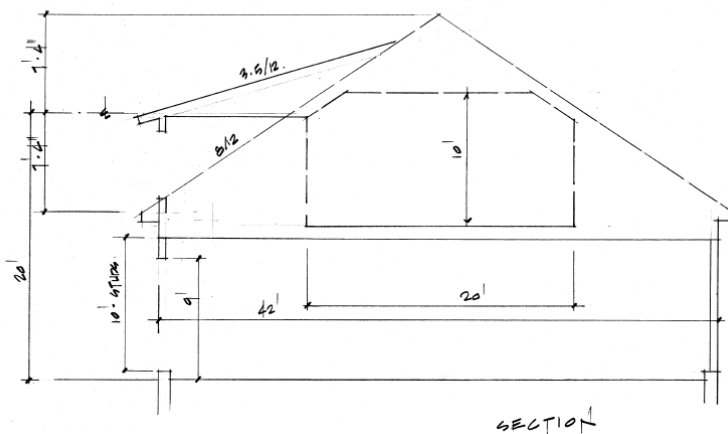
- We are a seasonal business operating from April through October, Monday through Friday.
- We don't plow snow or have any snow-related or winter activities.
- We don't landscape, or have outdoor stockpiles of material, or retail or wholesale sales. We don't have diesel trucks or any diesel equipment.
- All of our equipment and materials will be stored completely within the enclosed building.
- We don't have customer traffic. There is no evening, overnight, weekend, or off-season traffic.

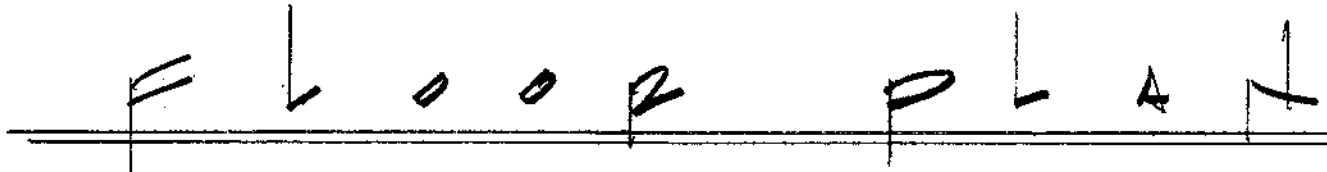
Site Plan





- A permanent natural buffer of trees will be maintained.
- We are requesting four employee parking spots. Employee parking will be between the barn and home, out of view of neighbors and guests.
- No free-standing light poles or signage is requested.
- No outdoor refuse storage is requested.
- All parking and drives to be paved.
- There are no other accessory buildings on the property.
- The building conforms to the building height compliance of 20 feet as measured at the roof mid-point and pictured below:





NOTE: WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE SUBCONTRACTORS ON THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS AND MUST BE RESPONSIBLE TO BOTH GENERAL CONTRACTOR AND GAWNER FOR SAME. ALL DIMENSIONS RULE OVER SCALE OF THIS DRAWING. ALL DIMENSIONS ARE FIGURED AS FOLLOWS: 2" X 4" BEING 2" X 4" X 8"

Gaines Charter Township

Planning Commission Memo

Meeting Date: March 28th, 2024

AGENDA ITEM: VI.1.c

PROPOSED REQUEST: Special Use Permit

ADDRESS: 9889 East Paris Avenue SE

PARCEL NUMBER: 41-22-26-400-009

FILE NUMBER: 240223SR

APPLICANT: Steven Redmond

PROPERTY ZONING DISTRICT:
Agricultural/Agri-Business (A-B)

PROPERTY SIZE: 4.75 Acres

REPORT BY: Dakota Swan, Assistant Planner



OVERVIEW

The applicant is requesting a Special Use Permit to allow for an additional 2,304 square feet (SF) in accessory buildings to an existing 1,106 SF of accessory buildings, making a total of 3,401 SF of residential accessory buildings on the property.

Based on the zoning ordinance, the property is limited to 2,400 SF of accessory buildings, or 3% of the lot size, which ever is less.

The proposed accessory building addition will be used primarily for personal residential storage use; specifically vehicles, trailers, and a tractor that would otherwise be stored outside.

Surrounding zoning:

	NORTH: Agricultural/Agri-Business (A-B)	
WEST: Agricultural/Agri-Business (A-B)	SUBJECT PARCEL	EAST: Agricultural/Agri-Business (A-B)
	SOUTH: Agricultural/Agri-Business (A-B)	

STANDARDS OF REVIEW

The request has been reviewed using the applicable review standards of Section 19.8 “General Standards for All Special Land Uses” and the specific standards of Section 20.2 (A) “Accessory Buildings – Standards for Increasing Maximum Floor Area”.

Section 19.8 General Standards for All Special Land Uses

The Planning Commission shall review the particular circumstances and facts of each proposed special use and in addition to the specific standards of consideration stated for each special use type within this Ordinance, and shall be guided in rendering a decision by the following general standards:

- A. *The proposed special use shall be sufficiently designed to maintain adequate provision for the protection of the health, safety, conveniences, and social and economic welfare of those who will use the special use, residents and landowners adjacent to the special use, and the community as a whole.*

Meets standard. The proposed accessory building will be used for residential storage purposes. As proposed, the use and character of the building will not hinder the health, safety, or economic welfare of surrounding properties or landowners.

- B. *The proposed special use shall be consistent with the intent of this Ordinance and the intent of the Master Plan.*

Meets standard. The 2023 Future Land Use Plan designates this parcel as rural. A request for a detached accessory building is consistent with the Master Plan’s guidance for rural residential properties and is provided for by the Zoning Ordinance subject to certain standards being met.

If it is determined that the proposed accessory building is consistent with the standards of Section 20.2 (D), then consistency with the zoning ordinance will be achieved.

- C. *The special use shall not create or substantially add to traffic hazards in the area.*

Meets standard. The proposed accessory building is intended to be used for the storage of vehicles, trailers, and a tractor. As an accessory building set to be utilized for residential storage, the building will not alter traffic patterns in the area.

- D. *Public services and facilities such as roads, police and fire protection, drainage structures, water and sewage facilities or schools, shall be sufficiently extended to the proposed special use such that load capacities are not exceeded.*

Meets standard. As a residential accessory building addition, staff does not anticipate any impacts on roads, police and fire protection, drainage structures, water or sewage facilities, or schools.

- E. *The proposed special use shall not set precedents for development which could adversely affect the long-term plans or policies of the Township.*

Meets standard. Accessory buildings of this scale are typical in rural areas of the township; most surrounding lots have large accessory buildings.

If the Planning Commission determines that the proposed accessory building meets the standards of Section 20.2 (D), the proposed special use will not set precedents for development that adversely impact the long-term plans or policies of the Township.

- F. *The proposed special use shall not have significant adverse environmental, ecological or natural resource impacts.*

Meets standard. The accessory building is not anticipated to have any impact on the environment and natural resources.

- G. *The proposed special use shall not have significant adverse impacts upon adjoining properties or uses.*

Meets standard. The proposed accessory building addition will be located in the rear yard and all minimum setback distance requirements are met.

Section 20.2(D).4: Accessory Buildings – Standards for Increasing Maximum Floor Area

In considering a special use permit for an accessory building exceeding the maximum floor area, the Planning Commission shall consider the standards stated in Chapter 19 and the following additional standards:

- A. *The intended use for the Building.*

Meets standard. The proposed accessory building will be used for residential storage purposes and will be secondary to a primary residential use.

- B. *The size, proposed location, type and kind of construction and general architectural character of the Building.*

Regulation	Required Setback	Proposed
Distance from Primary Building	10 Feet	Ca. 140 Feet
Front Yard Setback	60 Feet with Type I Buffer	Ca. 90 Feet
Side Yard Setback	20 Feet	64 Feet
Rear Yard Setback	3 Feet	Ca. 470 Feet
Maximum Building Height	20 Feet	17 Feet

Meets standard. The setback and height requirements for the building have been met. For gable roofs, height is measured at the midpoint between the eave and the peak. The sidewalls are proposed at 16' with a 4/12 truss pitch; the midpoint of the roof is approximately 19.3 Feet. The addition will be structurally attached to the existing building, thus not requiring a 10-foot separation distance between the two.

The building addition will be of pole barn construction with steel siding. It is unclear what the color of the building addition will be. Staff is recommending a condition of approval that the building be architecturally similar and the same color as the existing accessory building on the site.

- C. The type and kind of principal and Accessory Buildings and Structures located on properties in the same neighborhood.*

Meets standard. There are several accessory buildings similar in size to the proposed building located in the surrounding neighborhood. Properties to both the north and south of the subject parcel have similarly sized pole barns.

- D. Whether the Building will affect the light and air circulation or views of any adjoining properties.*

Meets standard. The proposed building is not anticipated to affect light or air circulation on surrounding properties.

- E. The reason why the applicant has requested an Accessory Building in excess of the maximum floor area.*

Meets standard. The applicant desires additional square footage for residential storage purposes. The accessory building will not be utilized for commercial purposes.

- F. The extent the Building absorbs required yards and other open spaces.*

Meets standard. The total requested square footage of accessory building coverage is less than 2% of the total lot size.

STAFF RECOMMENDATION

Staff recommends approval of the Special Use Permit with the following conditions of approval:

1. The accessory building addition shall be architecturally similar to and the same color as the existing accessory building on the site.
2. The accessory building shall not be utilized for commercial purposes.

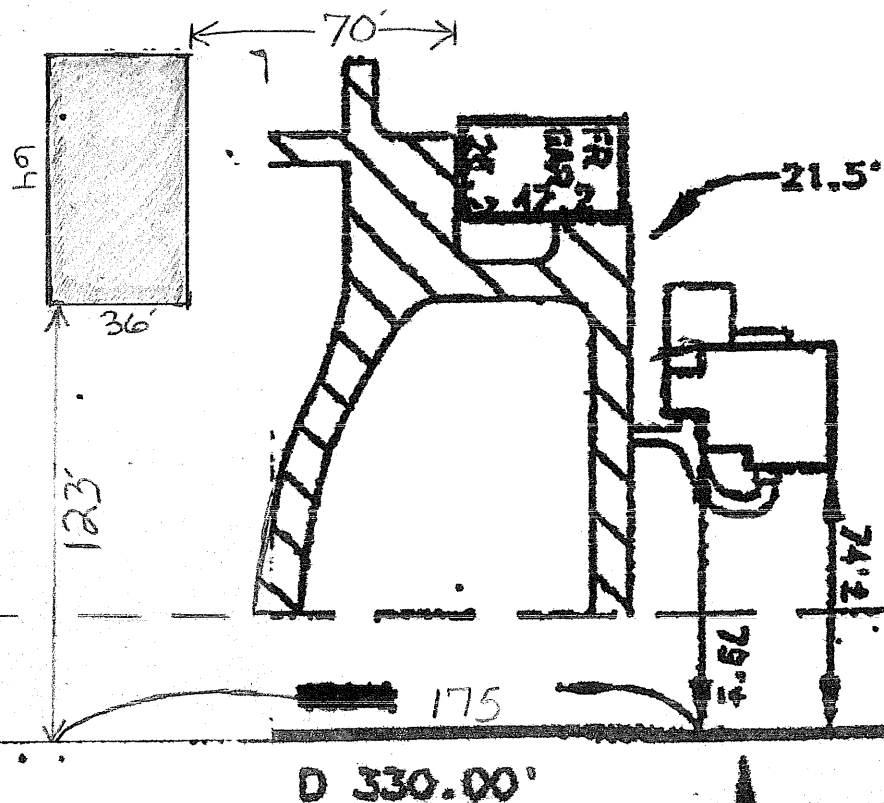
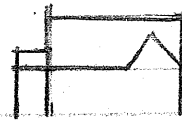
9889 E. PARIS AVE S.E, CALEDONIA, MI 49316
41-22-26-400-009

Wood-post frame covered with steel

North 
• 1" = 50'

D 660.00'

D 660.00'



D 330.00'

Gaines Charter Township

Planning Commission Memo

Meeting Date: March 28th, 2024

AGENDA ITEM: VI.2.a

PROPOSED REQUEST: Site Plan Review

ADDRESS: 6141 East Paris

PARCEL NUMBER: 41-22-02-200-013

APPLICANT: Jim Rapa, Stone Pro, OBO Devan
and Sydnee's Holdings LLC

FILE NUMBER: 020624JR

PROPERTY ZONING DISTRICT: Light Industrial
(I-1)

PROPERTY SIZE: 2.35 Acres

REPORT BY: Dakota Swan, Assistant Planner &
Dan Wells, Community Development Director;



OVERVIEW

The applicant requests site plan approval for a new 6,000-square-foot (SF) warehouse on the property that would also include some office space. Two older pole barn warehouses along the south property line (1,631 SF and 2,376 SF respectively), and the single-story house (2,034 SF) will remain, for a total of 10,007 SF of accessory buildings on the site. The 1,631 SF pole barn is non-conforming to setback requirements, but it will not be altered during this project.

The applicant has also included plans for 13 parking spaces associated with said warehouse, and a 60x60-foot outdoor storage area on the west side of the new building. That area will be accessed via a sliding gate and will have a 6-foot-high fence with privacy fabric. Areas surrounding the new pole barn will be paved and stormwater controls will be put in place.

Surrounding zoning:

	NORTH: Light Industrial (I-1)	
WEST: Light Industrial (I-1)	SUBJECT PARCEL	EAST: Light Industrial (I-1)
	SOUTH: Light Industrial (I-1)	

SECTION 25.6 SITE PLAN STANDARDS OF REVIEW

The request has been reviewed using the applicable review standards of Section 25.6 Site Plan Review Standards. Additional information is included on the following pages concerning site plan review considerations and standards.

- A. *Adequacy of Information: Whether the required information has been furnished in sufficiently complete and understandable form so as to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.*

Section 8.3 Dimensional Standards.

I-1 (Light Industrial) Regulations	Required	Proposed
Front Yard Setback	100 Feet	100 Feet
West Side Setback	15 Feet	15 Feet
East Side Setback	15 Feet	15 Feet
Rear Yard Setback	25 Feet	50 Feet
Maximum Building Height	60 Feet	27 Feet

Chapter 15 Parking and Loading Regulations.

Meets Standard. Currently the site doesn't have any designated parking spaces, but rather a dirt lot for parking. Parking areas will be paved with asphalt and drains installed. The standard for parking in a designated I-1 district is 1 space per 4000 S.F. of warehouse and 3 spaces per 1000 S.F. of office. They have proposed 13 parking spaces and one barrier free parking space, which exceeds the required minimum parking. Parking spots are 9' x 20' and meet standards.

The proposed plan also includes one loading space that meets the minimum width (10'), length (35') and height (14') requirements for industrial uses.

Chapter 17 Signage Regulations.

Undetermined, Condition recommended. It is specified in the site plan that all signage will conform to municipal standards for an industrial zoned area, which entails a wall mounted sign above the front doors. Staff recommends a condition that signage be reviewed administratively.

Chapter 16 Landscaping Regulations.

Does not meet Standard. The Township Engineer pointed out that front yard landscaping presented in the plans is located within sanitary sewer easements and may not be planted there. There are plans for some tree removal to occur near the back of the parcel, but there is a 300-foot buffer of natural woods between this project from the residence to the west.

Considering the difficulty fitting required landscaping into the area along East Paris due to existing easements, the Planning Commission may modify the required landscaping. Or they may require the applicant to shift the building westward to enable adequate space for required landscaping.

If modifications are considered, the Planning Commission shall consider the following criteria:

- A. The amount of space on the site available for landscaping.
- B. Existing landscaping on the site and on adjacent properties.
- C. The type of use on the site and the size of the development.
- D. Existing and proposed adjacent land uses.
- E. The effect that the required landscaping would have on the operation of the existing or proposed land use.

Chapter 18 Lighting Regulations.

Meets Standard. A photometric plan indicates that the areas surrounding the building will remain adequately lit; light at the periphery of the property is as high as 0.6 candlepower, but there is no maximum limit for Industrial property. The applicant specified in the site layout plan that all lighting on site will utilize building mounted lights in full cut-off fixtures and adhere to zoning requirements pertinent to lighting. Staff recommends the applicant utilize 3000k-4000k temperature LEDs.

- B. *Compliance with Township Master Plan: The site plan must comply with the Township Master Plan and its goals and objectives and any secondary plans that may have been adopted by the Township for the area containing the site.*

Meets standard. The parcel in question is located within Section 2 and is near the Steelcase PUD; the Master Plan specifies that industrial development near the Steelcase PUD is expected to increase over the next decade. This project would be consistent with surrounding land uses and the rise in logistics and warehousing in this area.

- C. *Compliance with all Township Ordinances and Other Laws: The site plan must comply with the standards of this Ordinance and all other applicable Township ordinances, as well as all county, state, and federal regulations and laws.*

Condition recommended. The applicant is required to secure all applicable Township and outside agency approvals prior to site development, including Township Engineering/BGUA, Fire Department, Kent County Road Commission, and Kent County Drain Commission, as applicable.

- D. *Configuration of Uses: Whether there are ways in which the configuration of uses and structures could be changed that would improve the effect of the development on adjoining and nearby properties, persons, activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and the proposed use and structures.*

Meets standard. The proposed warehouse building will not affect adjacent properties since the north, east and south adjoining properties are also zoned as I-1 (Light Industrial). The property to the west is a PUD, however, the proposed structure meets all rear setback requirements and will not have any impact on the PUD to the west. The entry/exit point to the parcel will remain the same, with the only difference being that it will now be paved.

- E. *Preservation of Natural Features: The landscape, natural features, and topography shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal and alteration of natural features, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.*

Meets standard. There are plans for some tree removal towards the back of the parcel but besides that, there are no plans to otherwise alter the natural features and/ or topography of the parcel. Demolition and excavation associated with construction are outlined in the Existing Conditions and Removals Plan, however, the applicant states that backfill will occur promptly after demolition to not compromise the natural features and/ or topography within the parcel.

- F. *Privacy: The site design must provide reasonable visual and sound screening and privacy for dwelling units on the site and on adjacent properties using fences, buffers, berms, and other measures, as appropriate.*

Meets standard. No dwelling units are located within 300 feet of the proposed warehouse, and given the nature of the business, it is not anticipated that there will be cause for nuisance or disturbances.

- G. *Safety: Buildings and uses shall be arranged and designed to provide emergency vehicle access. Site plans shall conform to all applicable fire codes.*

Meets standard. The Fire Inspector has reviewed the site plan and has not expressed any access or safety concerns. Detailed plans related to fire suppression systems will be reviewed in the future and require Fire Inspector approval.

- H. *Vehicular Circulation: The site design shall provide safe, convenient, and well defined vehicular and pedestrian circulation within and to/from the site. Access to/from the site shall be designed to*

minimize conflicts with traffic on adjacent streets. Shared curb cuts and service drives shall be utilized as necessary to reduce traffic conflicts and improve the functionality of the site.

Meets standard. Sidewalks will be extended south of the entrance along East Paris to join with the strip of sidewalk that is in front of the adjacent property to the south and sidewalk will be extended northward to the edge of the property. The addition of office space may lead to a slight increase in traffic during the beginning and end of the workday, but should not significantly impact traffic that is typical for this area during those times of day.

- I. *Pedestrian Circulation: The site plan shall provide a pedestrian circulation system that is insulated as completely as is reasonably possible from the vehicular circulation system for safety and convenience.*

Undetermined. Sidewalks along the front of the property do not lead to internal buildings. It is not likely that pedestrian access will be frequent in this area, but pedestrians would have to use the internal driveways or grassy curbs to access the main buildings or walk among them.

- J. *Drainage: Site plans shall conform with the Kent County Drain Commission's surface water drainage standards and to the Township Stormwater Ordinance (and other applicable Township ordinances) with special attention given to proper site drainage so that removal of storm water will not adversely affect neighboring property owners. Stormwater management system and facilities shall preserve the natural drainage characteristics and enhance the aesthetics of the site to the maximum extent possible.*

Condition Recommended. The applicant is required to secure all applicable Township and outside agency approvals and permits related to stormwater and drainage prior to site development, including Township Engineering/BGUA and Kent County Drain Commission, as applicable.

- K. *Traffic Impact: Measures must be taken to reduce any adverse effects on existing roads, circulation patterns on the roads, or access to the site from the expected volume of traffic to be generated by the proposed use.*

Meets standard. While the installation of the warehouse will likely include a slight increase in traffic to and from the facility, East Paris itself is adequate to handle the additional traffic.

- L. *Hazardous Materials: Sites which include storage of hazardous materials or waste, fuels, salt, or chemicals shall be designed to prevent spills and discharges of polluting materials to the surface of the ground, groundwater or nearby surface water bodies. Each site shall be designed to meet all applicable state and federal regulations.*

Meets standard. No hazardous materials are planned to be stored at the facilities. Facility is subject to Fire Inspector annual review.

- M. *Public Health, Safety, or Welfare: The site plan must be adequate to provide for the health, safety, and general welfare of the persons and property on this site and in the neighboring community. The site plan and proposed buildings and uses must be reasonable and promote the goals and intent of this Ordinance. All elements of the site plan shall be designed to take into account the site's*

topography, the size and type of lot involved, the character of the adjoining properties, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted in this Ordinance. The site plan must be harmonious with and not injurious to existing and projected uses in the immediate area.

Meets Standard. The site is fully served by utilities and has adequate access for emergency services. The primary use of the surrounding properties is industrial, and the area has been zoned as such for decades. Neighboring properties are not affected negatively by the proposed expansion.

STAFF RECOMMENDATION

Staff recommends Planning Commission consider how the required landscaping should be sited or modified.

Staff recommends approval of the proposed site plan to construct a StonePro warehouse/ office facility with the following conditions;

1. Secure all Township departments and outside agency approvals:
 - a. Township Engineer/BGUA.
 - b. Fire Department.
 - c. Kent County Road Commission.
 - d. Kent County Drain Commission.
 - e. Department of Energy Great Lakes and Energy
2. Signage shall be reviewed administratively.



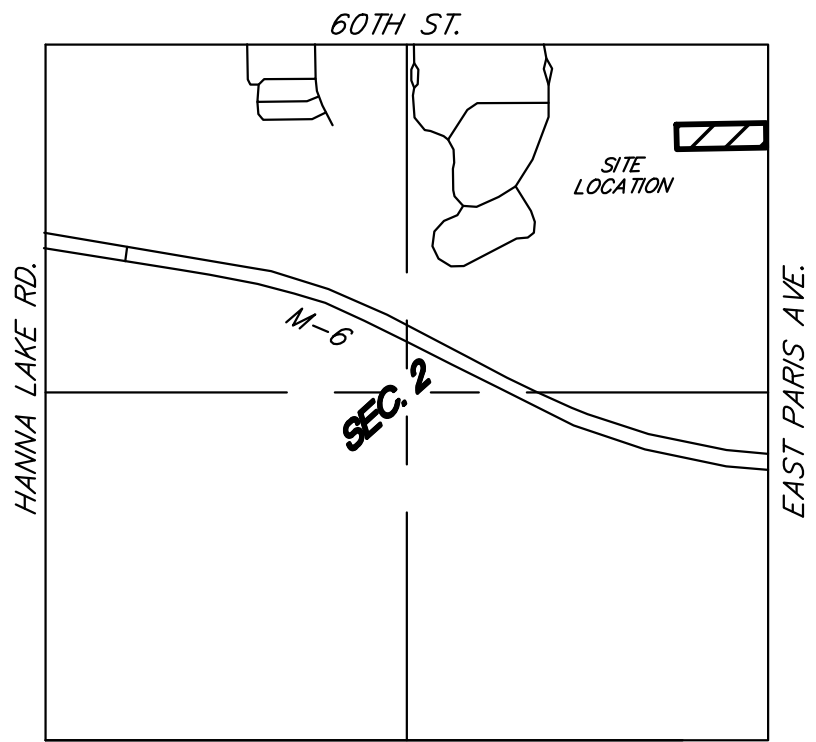
Know what's below.
Call before you dig.

BENCHMARK NO. 1 ELEV. = 754.02'
SOUTHEAST FLANGEBOLT UNDER "E" ON
THE HYDRANT LOCATED ±40' EAST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±2' NORTH OF EXTENDED
SOUTH LINE OF EASTERLY POLE BARN
#6141 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 753.07'
NORTHEAST FLANGEBOLT UNDER "M" ON
THE HYDRANT LOCATED ±420' WEST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±7' SOUTH OF EXTENDED
SOUTH LINE OF WESTERLY POLE BARN
#6141 (N.A.V.D. 88)

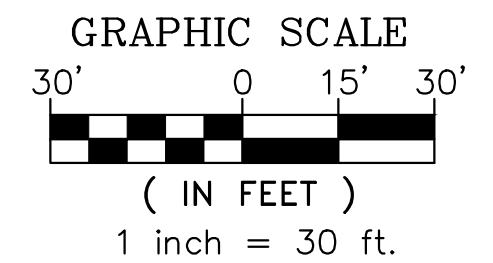
LEGAL DESCRIPTION FROM SUN TITLE AGENCY OF MICHIGAN, LLC TITLE COMMITMENT
NO. 223199, EFFECTIVE DATE OF JUNE 26, 2023:

That part of the East 1/2, Northeast 1/4, Section 2, T5N, R11W, Gaines Township,
Kent County, Michigan, described as: Beginning at a point on the East line of said
Northeast 1/4, which is S00°00'00"E 487.5 feet from the Northeast corner of said
Section; thence S00°00'E 162.5 feet along said East line; thence S89°56'43"W
671.43 feet; thence N00°14'08"W 162.5 feet; thence N89°56'43"E 672.10 feet to
the Place of Beginning.



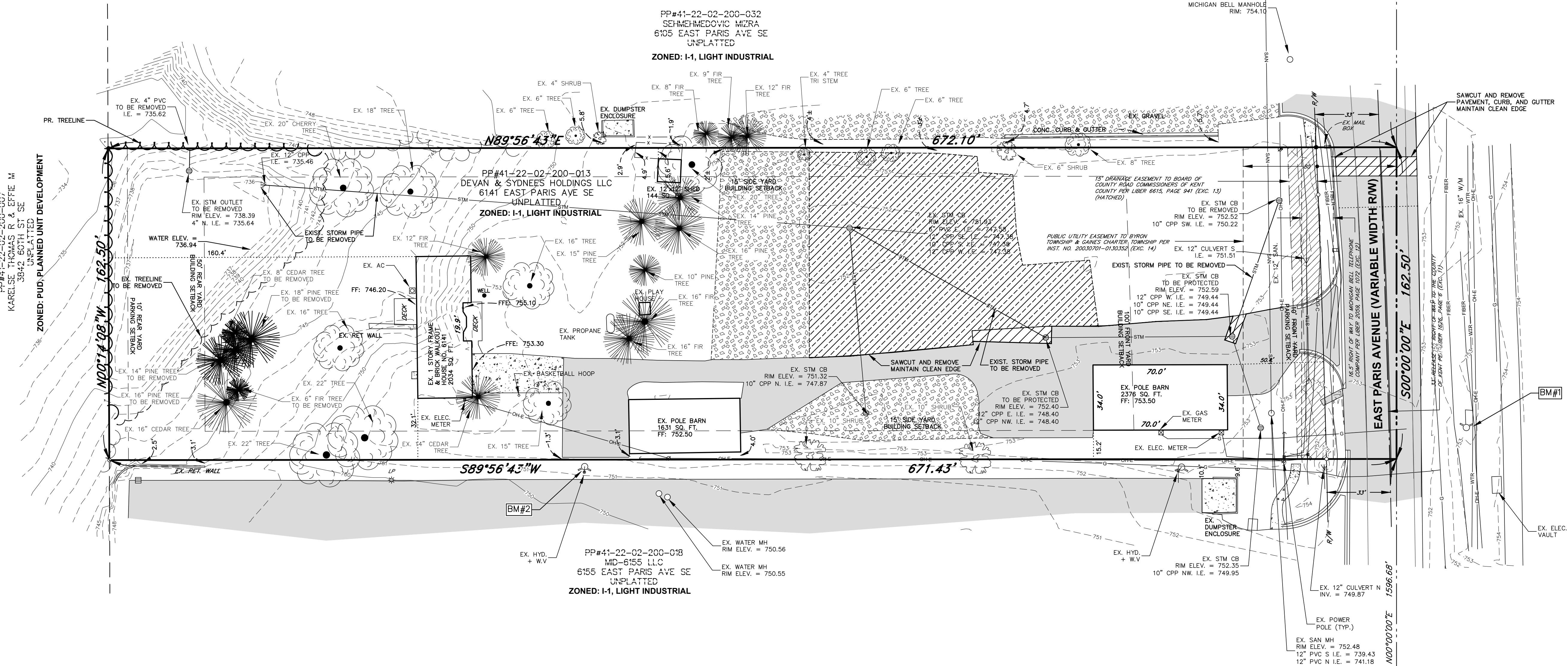
LOCATION MAP
NOT TO SCALE

ADDRESS:
6141 EAST PARIS AVE SE,
CALEDONIA, MI 49316



EXISTING LEGEND

SURVEY ● SECTION CORNER ● PROPERTY IRON FOUND ○ PROPERTY IRON SET BM# BENCHMARK	TREES ● CONIFEROUS TREE ● DECIDUOUS TREE
WATER ○ MANHOLE ○ VALVE ○ HYDRANT	ELECTRICAL ○ UTILITY POLE ○ GUY WIRE ○ LIGHT POLE ○ UTILITY RISER/METER
SANITARY SEWER ○ MANHOLE ○ CLEANOUT	STORM SEWER ○ CURB CATCH BASIN ○ ROUND CATCH BASIN ○ FLARED END SECTION
MISC ○ MAILBOX ○ SIGN	
EXIST. GRAVEL EXIST. CONCRETE EXIST. BITUMINOUS EXIST. GRAVEL REMOVAL EXIST. BIT REMOVAL	
CENTER LINE PROPERTY LINE CONTOUR LINE (MAJOR) CONTOUR LINE (MINOR) FENCE TREE LINE WATER MAIN SANITARY SEWER STORM SEWER NATURAL GAS FIBER OPTIC OVERHEAD ELECTRIC UNDERGROUND TELEPHONE UNDERGROUND CABLE	



DEMOLITION NOTES:

ALL MATERIAL THAT IS NOT SUITABLE AS BACKFILL AND MATERIALS THAT ARE EXCESS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

ALL AREAS OF UNDERGROUND DEMOLITION; UTILITY LINE REMOVAL; AND UNDERGROUND TREE, STUMP, AND VEGETATION REMOVAL SHALL BE BACKFILLED.

BACKFILLING SHALL PROMPTLY FOLLOW UNDERGROUND DEMOLITION OR REMOVAL WORK AND SHALL CONTINUE AS THE DEMOLITION PROGRESSES.

NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWING(S).

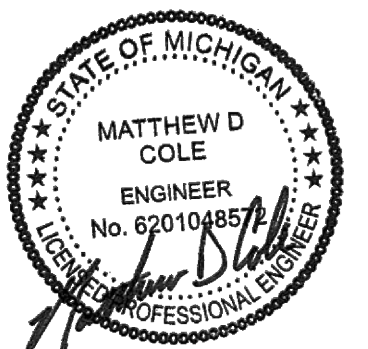
WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH. REMOVE TO THE NEAREST JOINT, IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. VERIFY REMOVAL LIMITS WITH ENGINEER PRIOR TO BEGINNING WORK.

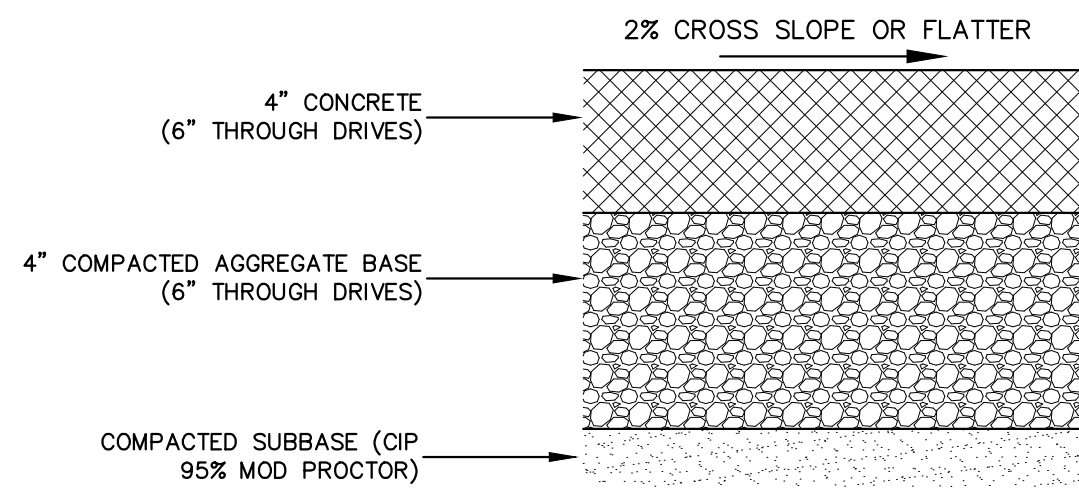
EXISTING CONDITIONS & REMOVALS PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

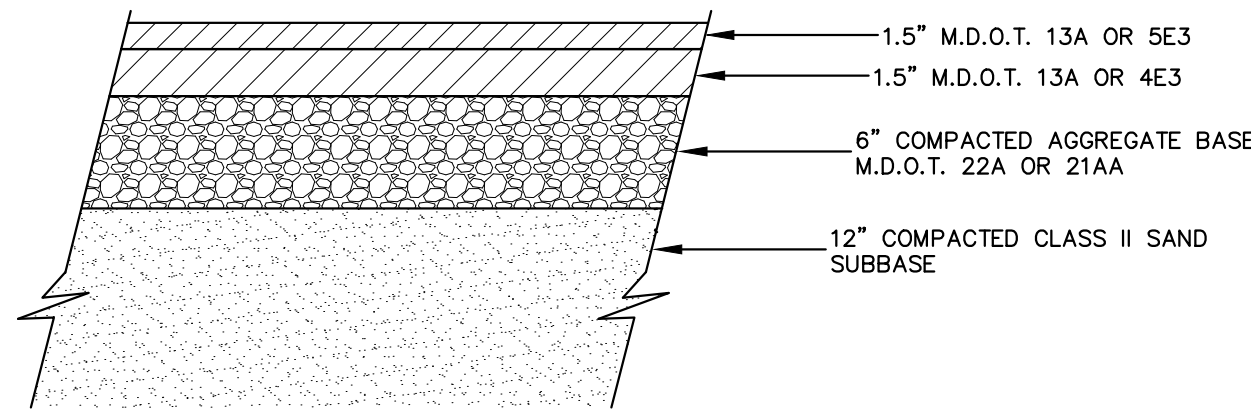
PROJECT NO.
231197

C-101

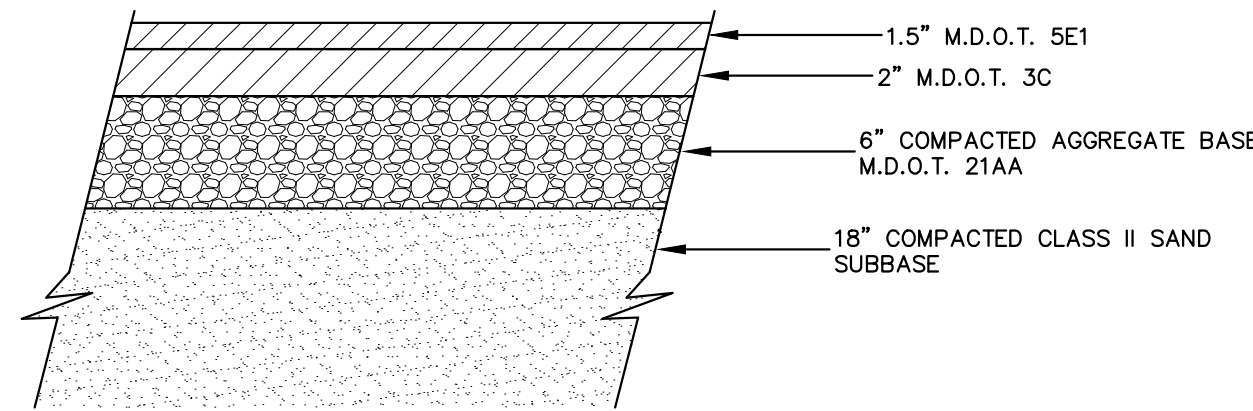




CONCRETE SIDEWALK
NOT TO SCALE



BIT PAVEMENT-SECTION
NOT TO SCALE



R.O.W. BIT PAVEMENT-SECTION
NOT TO SCALE

SITE DATA:		
SITE:	2.36 ACRES	
USE:	WAREHOUSE/STORAGE AND OFFICE	
	<u>REQUIRED</u>	<u>PROVIDED</u>
MAXIMUM BUILDING HEIGHT:	60'	SEE ARCH
FRONT BUILDING SETBACK:	100'	100'
SIDE BUILDING SETBACK:	15'	15' TO NORTH
REAR BUILDING SETBACK:	50' ADJ. TO "R"	NO CHANGE FROM EX.
PARKING DATA:		
MIN. REQUIRED PARKING: 13 SPACES		
(1 SPACE PER 4000 SFT OF WAREHOUSE + 3 PER 1000 SFT OF OFFICE)		
((4380+2380+1624)/4000 + (1620+2034)/3/1000)		
PROPOSED PARKING: 13 SPACES		
(INCLUDES 1 BARRIER FREE SPACE)		
PARKING SPACE:	9' x 18'	9' x 20'
DRIVE AISLE WIDTH (TWO WAY):	24'	24'
LOADING:	1 SPACE	1 SPACE
LOADING SIZE:	10' x 35'	10' x 35'
ALL SITE LIGHTING WILL UTILIZE BUILDING MOUNTED LIGHTS IN FULL CUT-OFF FIXTURES MEETING ZONING REQUIREMENTS		

NOTES

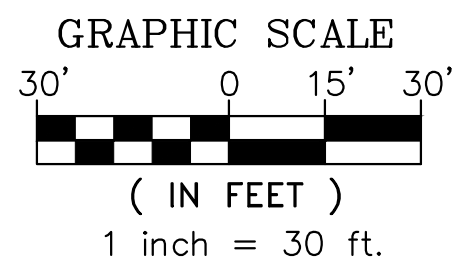
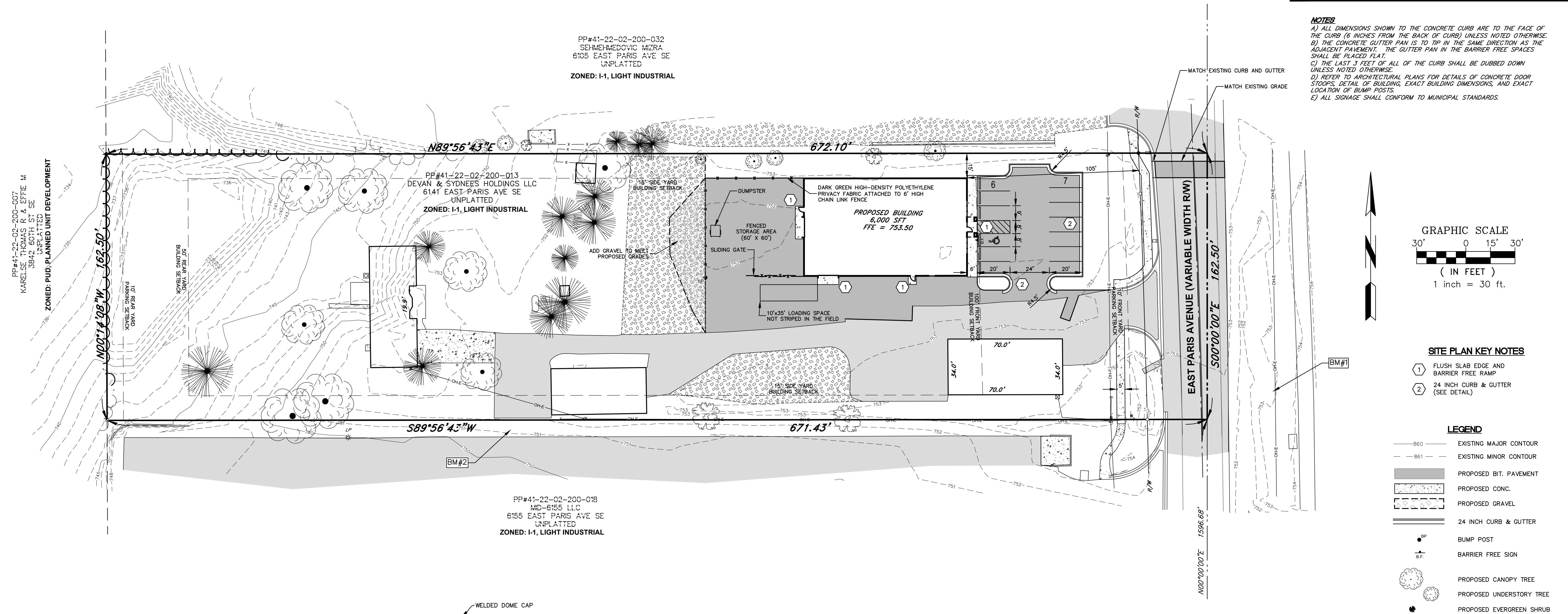
A) ALL DIMENSIONS SHOWN TO THE CONCRETE CURB ARE TO THE FACE OF THE CURB (6 INCHES FROM THE BACK OF CURB) UNLESS NOTED OTHERWISE.

B) THE CONCRETE GUTTER PAN IS TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT. THE GUTTER PAN IN THE BARRIER FREE SPACES SHALL BE PLACED FLAT.

C) THE LAST 3 FEET OF ALL OF THE CURB SHALL BE DUBBED DOWN UNLESS NOTED OTHERWISE.

D) REFER TO ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE DOOR STOOPS, DETAIL OF BUILDING, EXACT BUILDING DIMENSIONS, AND EXACT LOCATION OF BUMP POSTS.

E) ALL SIGNAGE SHALL CONFORM TO MUNICIPAL STANDARDS.

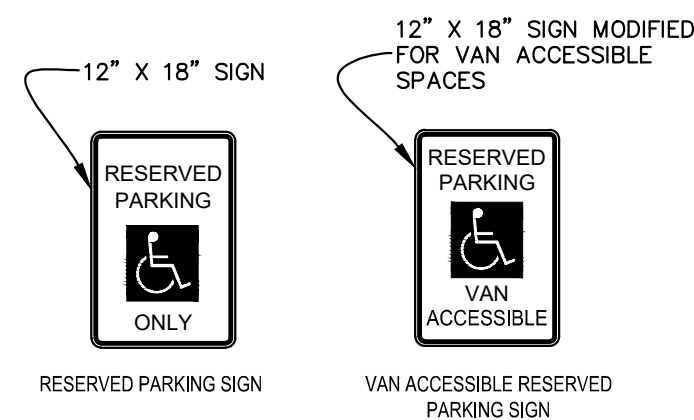


SITE PLAN KEY NOTES

- 1 FLUSH SLAB EDGE AND BARRIER FREE RAMP
- 2 24 INCH CURB & GUTTER (SEE DETAIL)

LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED BIT. PAVEMENT
- PROPOSED CONC.
- PROPOSED GRAVEL
- 24 INCH CURB & GUTTER
- BUMP POST
- BARRIER FREE SIGN
- PROPOSED CANOPY TREE
- PROPOSED UNDERSTORY TREE
- PROPOSED EVERGREEN SHRUB



SIGN MATERIALS:

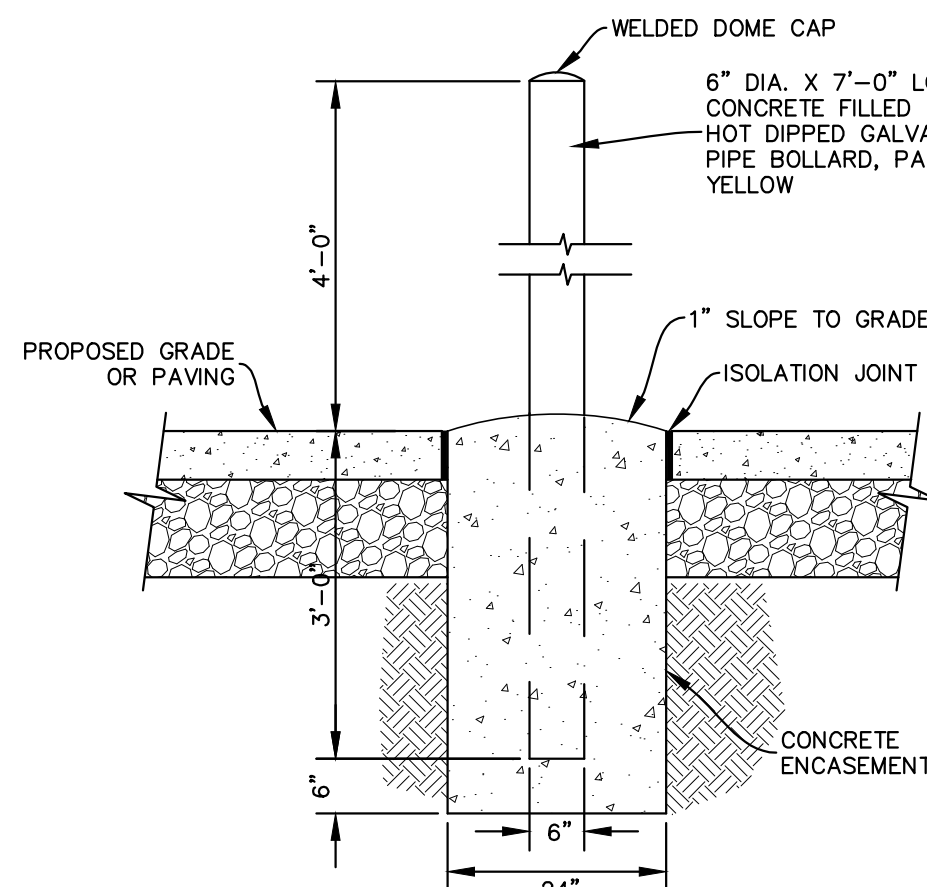
GENERAL: SIGNS SHALL CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

MOUNTING HARDWARE: STAINLESS STEEL.

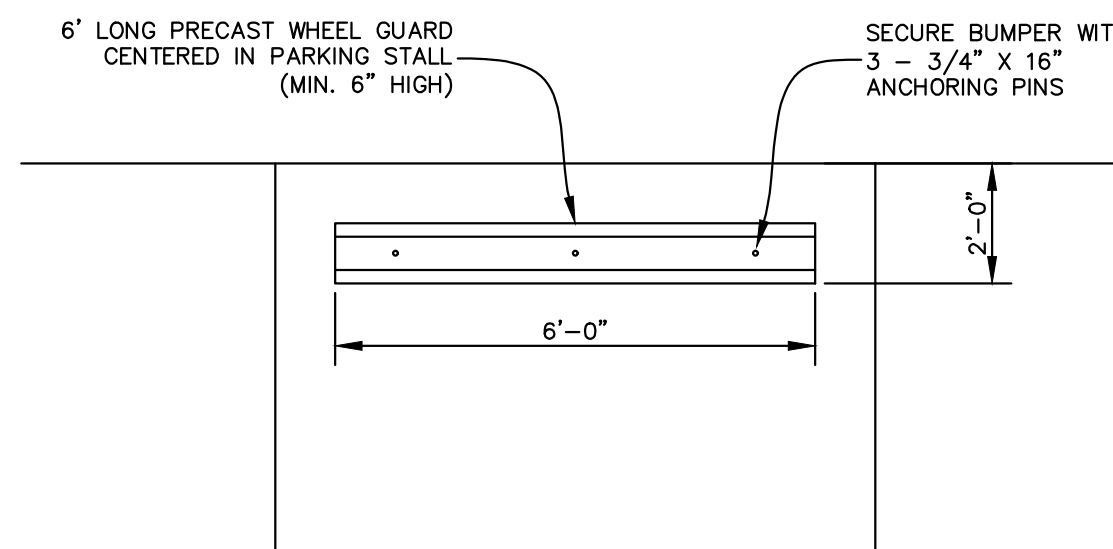
PANEL MATERIAL: ALUMINUM SHEET.

SIGN FACE: REFLECTORIZED BACKGROUND, REFLECTORIZED LEGEND.

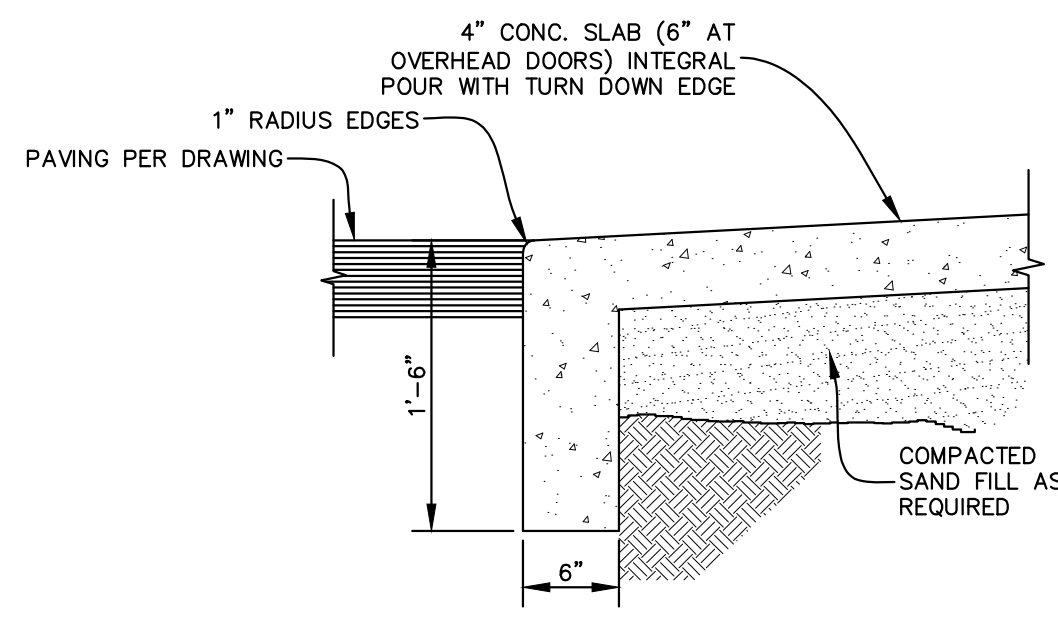
BARRIER FREE SIGNS
NOT TO SCALE



BUMP POST
NOT TO SCALE



BUMPER BLOCK DETAIL
NOT TO SCALE



FLUSH SIDEWALK EDGE
NOT TO SCALE

DRAWN BY: VS
APPROVED BY: MC
DATE: FEBRUARY 1, 2024
REVISIONS:

Roostin & Associates

ENGINEERING AND ARCHITECTURE

6005 PARADEL AVE SE
GRAND RAPIDS, MI 49505
TEL: (616) 361-7220

SITE LAYOUT AND LANDSCAPE PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

PROJECT NO.
231197

C-102

GENERAL PRIVATE UTILITY NOTES:

PROPOSED PRIVATE UTILITY SERVICE AS SHOWN IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE COORDINATED WITH INDIVIDUAL UTILITY COMPANY AND APPROVED BY OWNER.

CONTRACTOR SHALL COORDINATE LOCATION OF ALL PRIVATE UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) WITH THE LOCAL UTILITY COMPANIES AND THE MECHANICAL DRAWINGS. COORDINATE ALL PRIVATE UTILITY LOCATIONS WITH ALL SUB-SURFACE SITE UTILITIES SHOWN ON THIS PLAN.

GENERAL STORM SEWER NOTES:

SITE CONTRACTOR TO END STORM CONNECTION 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP, COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

UNLESS NOTED OTHERWISE ON THE PLAN, STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M294 TYPE S. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM F477. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

ROOF DRAIN PIPE OR PIPE INDICATED TO BE PVC SHALL MEET THE REQUIREMENTS OF ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

MATERIALS, INSTALLATION, AND TESTING OF THE STORM SEWER SYSTEM SHALL CONFORM TO GAINES TOWNSHIP STANDARDS.

GENERAL WATER SERVICE NOTES:

SITE CONTRACTOR TO END WATER SERVICE(S) 5' FROM BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

IRRIGATION WATER SERVICE TO BE TAPPED OFF WATER SERVICE INSIDE BUILDING UTILITY ROOM. COORDINATE WITH LANDSCAPER AND BUILDING PLUMBER.

DOMESTIC SERVICE SHALL BE COPPER, TYPE K, ANNEALED AND SOFT TEMPER PER ASTM B-88. FITTINGS SHALL CONFORM TO ASTM B-88. PLUMBING ENGINEER SHALL VERIFY SIZE OF WATER SERVICE.

SADDLE WILL BE REQUIRED FOR 1.5" WATER SERVICE TAP AND SHALL CONFORM TO THE BYRON-GAINES UTILITY AUTHORITY SPECIFICATIONS.

MINIMUM COVER OVER PIPE SHALL BE 5.5'.

MATERIALS, INSTALLATION, AND TESTING OF WATER SERVICE LINES SHALL CONFORM TO THE BYRON-GAINES UTILITY AUTHORITY CONSTRUCTION SPECIFICATIONS.

GENERAL SANITARY SEWER NOTES:

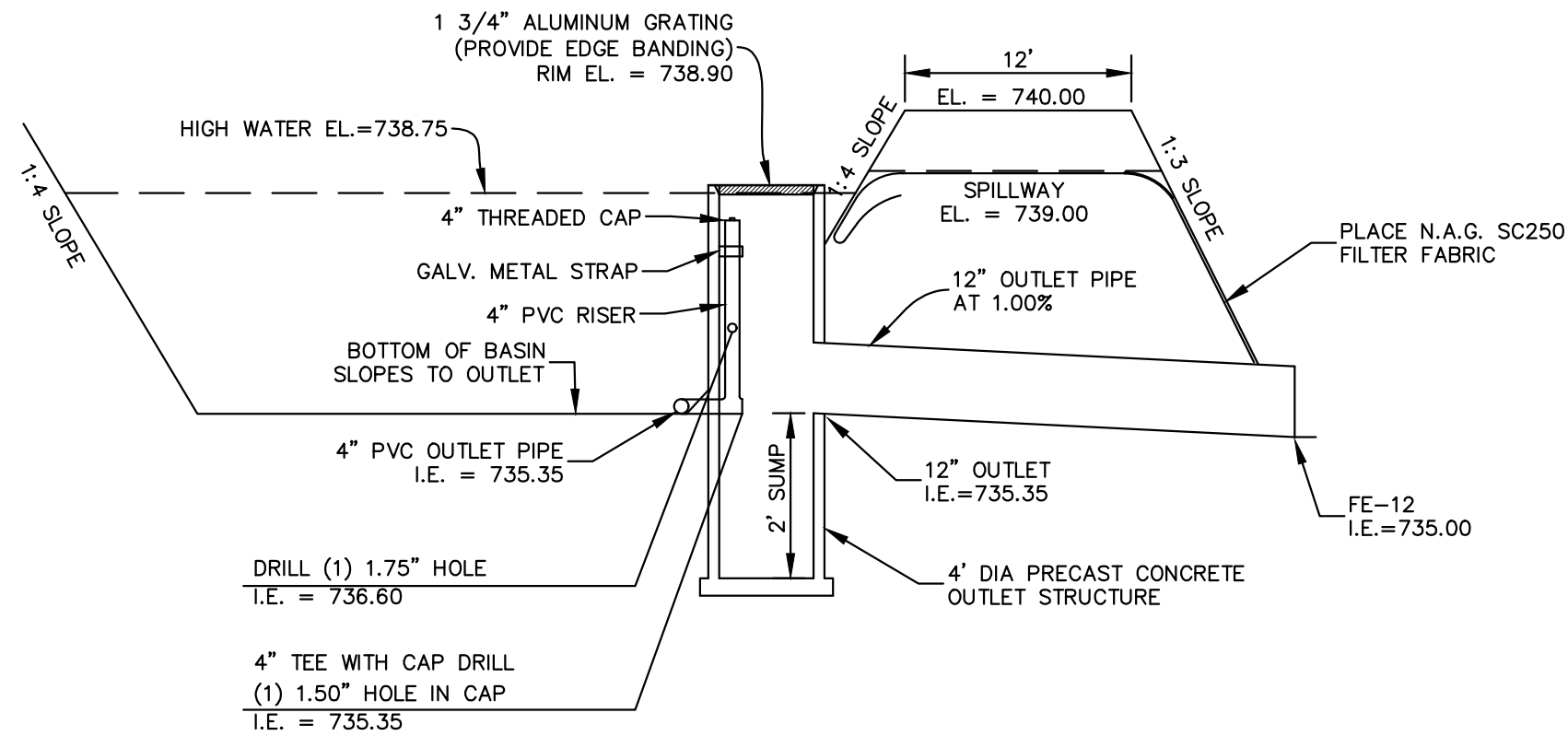
SITE CONTRACTOR TO END SANITARY LATERAL 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

SANITARY SEWER LATERALS AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR 26. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM D3212.

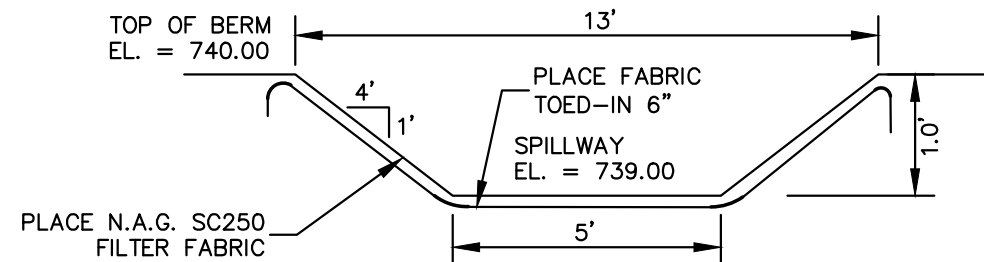
MATERIALS, INSTALLATION, AND TESTING OF SANITARY SEWER SHALL CONFORM TO THE BYRON-GAINES UTILITY AUTHORITY CONSTRUCTION SPECIFICATIONS.

MINIMUM COVER OVER SANITARY LATERAL SHALL BE 3.5'.

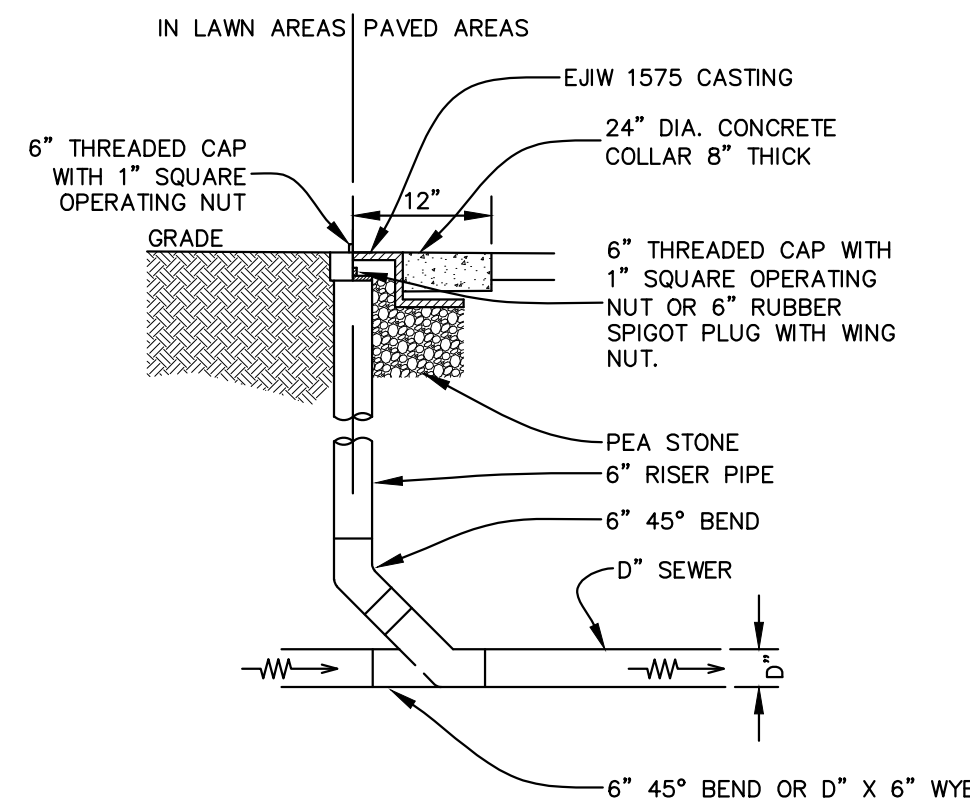
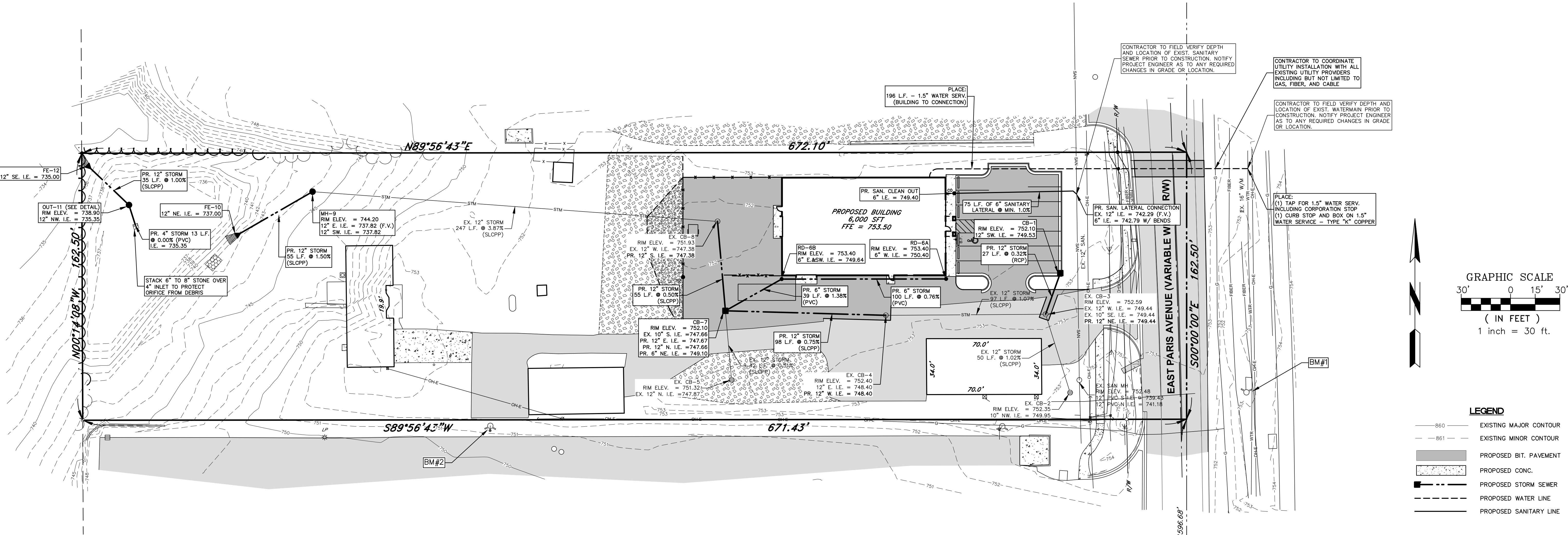
ALL WATER SERVICE AND SANITARY SEWER LATERAL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT BYRON-GAINES UTILITY AUTHORITY CONSTRUCTION SPECIFICATIONS.



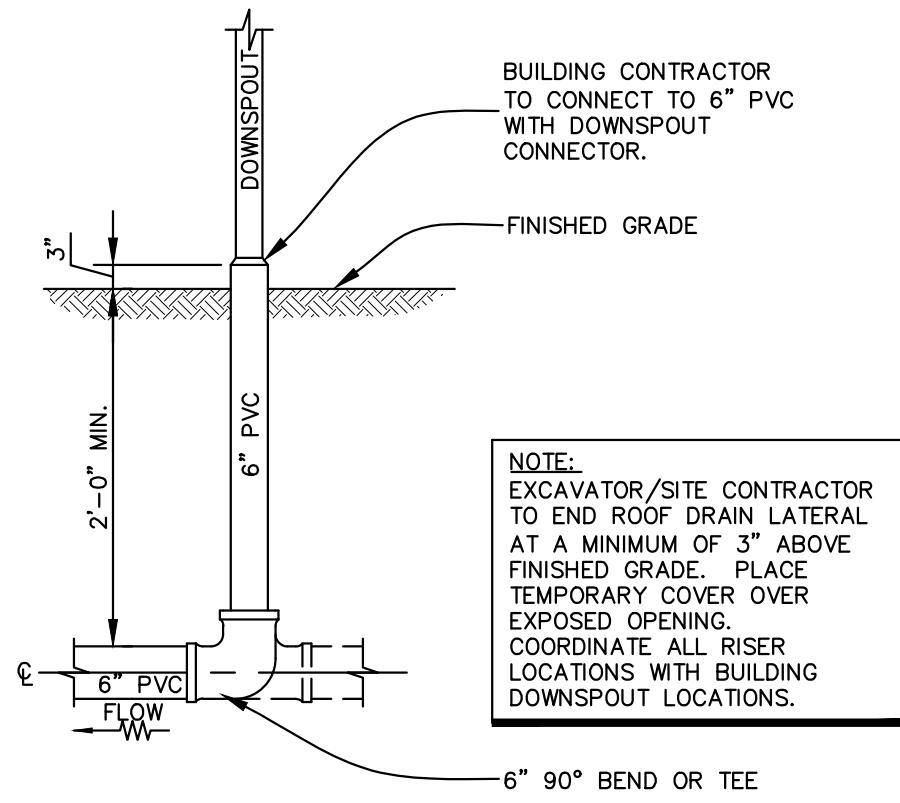
OUTLET STRUCTURE (OUT-11)
NOT TO SCALE



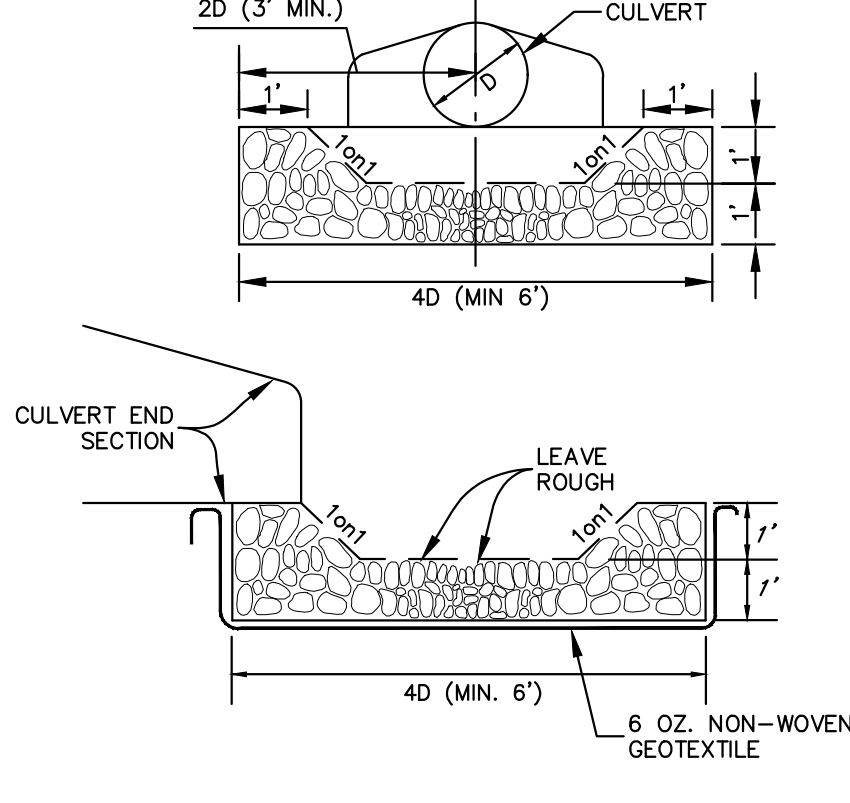
BASIN OVERFLOW SPILLWAY
NOT TO SCALE



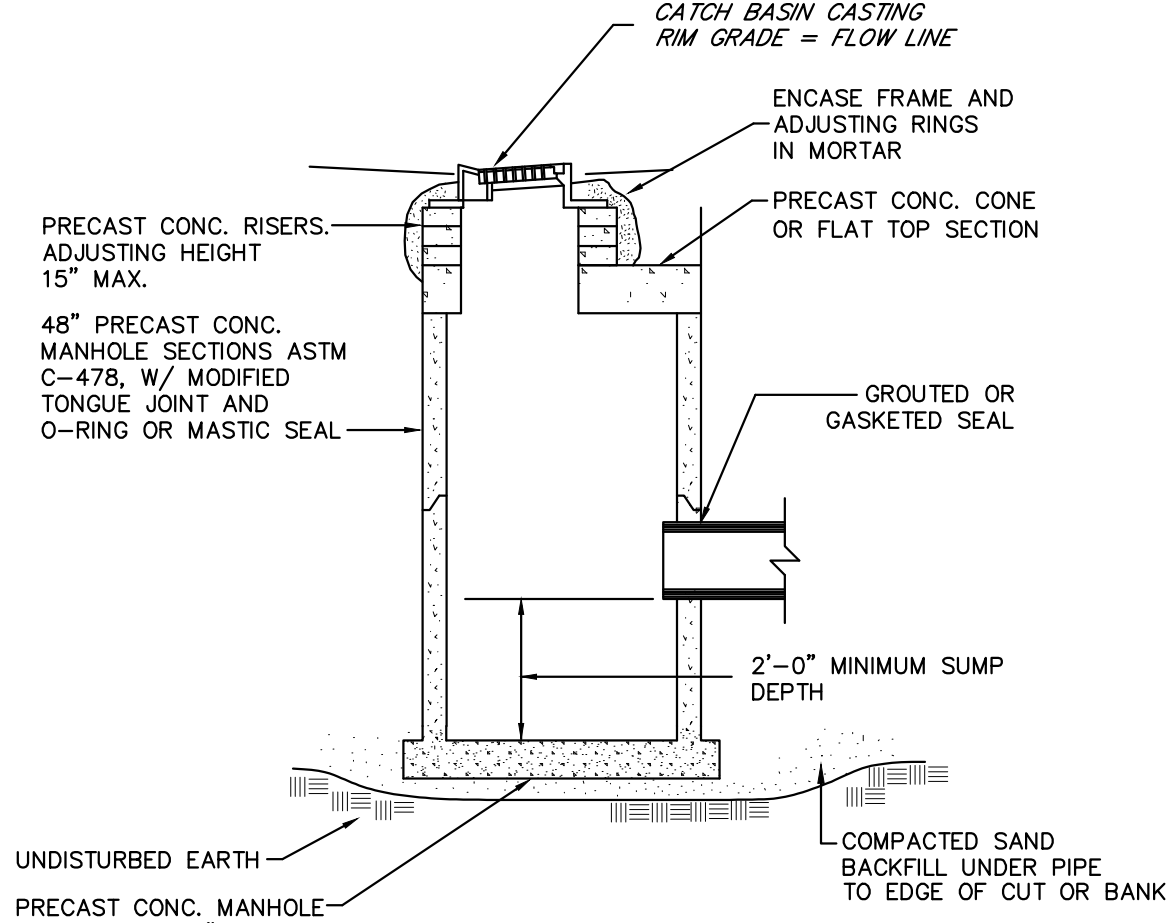
GRAVITY SEWER CLEAN OUT
NOT TO SCALE



DOWNSPOUT CONNECTION RISER
NOT TO SCALE



RIPRAP APRON
NOT TO SCALE



TYPICAL CATCH BASIN
NOT TO SCALE

REVISIONS:

DRAWN BY: YS
APPROVED BY: MC
DATE: FEBRUARY 1, 2024

REVISIONS:

Rooston & Associates
ENGINEERING AND ARCHITECTURE

6035 PARKFIELD AVE. SE
GRAND RAPIDS, MI 49505
TEL: (616) 361-7220

SITE UTILITY PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

PROJECT NO.
231197

C-103



Know what's below.
Call before you dig.

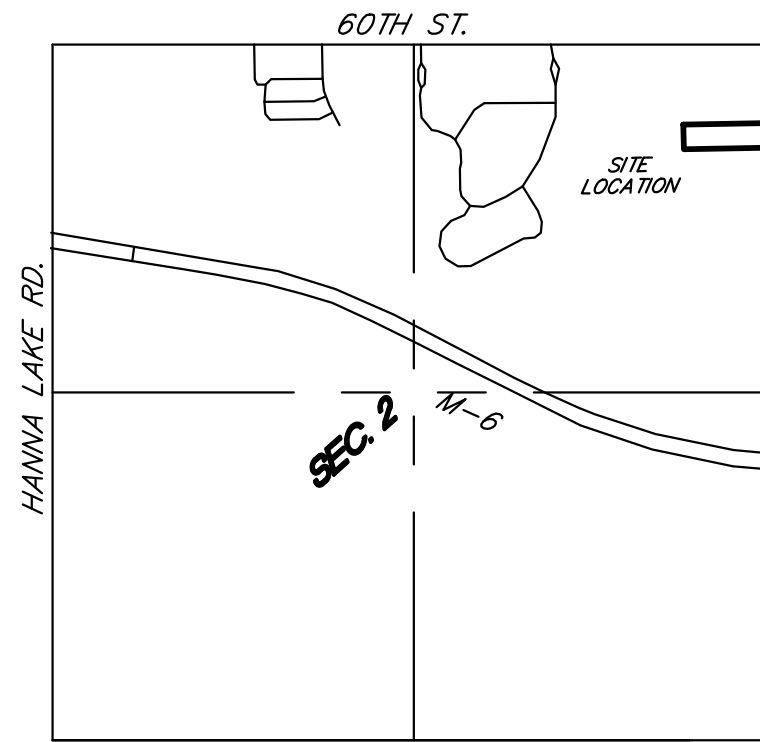
BENCHMARK NO. 1 ELEV. = 754.02'
SOUTHEAST FLANGEBOLT UNDER "E" ON
THE HYDRANT LOCATED ±40' EAST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±2' NORTH OF EXTENDED
SOUTH LINE OF EASTERLY POLE BARN
#6141 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 753.07'
NORTHEAST FLANGEBOLT UNDER "M" ON
THE HYDRANT LOCATED ±420' WEST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±7' SOUTH OF EXTENDED
SOUTH LINE OF WESTERLY POLE BARN
#6141 (N.A.V.D. 88)

LEGAL DESCRIPTION FROM SUN TITLE AGENCY OF MICHIGAN, LLC TITLE COMMITMENT
NO. 223199, EFFECTIVE DATE OF JUNE 26, 2023:

That part of the East 1/2, Northeast 1/4, Section 2, T5N, R11W, Gaines Township,
Kent County, Michigan, described as: Beginning at a point on the East line of said
Northeast 1/4, which is S00°00'00"E 487.5 feet from the Northeast corner of said
Section; thence S00°00'E 162.5 feet along said East line; thence S89°56'43"W
671.43 feet; thence N00°14'08"W 162.5 feet; thence N89°56'43"E 672.10 feet to
the Place of Beginning.

NOTE:
- REFER TO MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL.
- CONTRACTOR SHALL PLACE NA-GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET ON ALL
SLOPES 1 ON 3 OR STEEPER.
- SITE SOILS CONSIST OF LOAMY FINE SAND, SANDY LOAM, AND SILTY CLAY LOAM PER USDA NRCS MAPS.
- TOTAL DISTURBED AREA IS 1.02 ACRES.
- FISK DRAIN IS LOCATED APPROXIMATELY 80 FEET TO THE WEST.
- CONTRACTOR SHALL SWEEP THE STREET OF ANY DIRT TRACKED ONTO IT BY THE CONSTRUCTION OPERATION
AS NEEDED AND AS DIRECTED BY COUNTY SESC AGENT.
- THESE MEASURES ARE MINIMUM REQUIRED. CONTRACTOR MAY NEED ADDITIONAL MEASURES DEPENDING ON
WEATHER, TIMING, ETC.



LOCATION MAP
NOT TO SCALE

ADDRESS:
6141 EAST PARIS AVE SE,
CALEDONIA, MI 49316

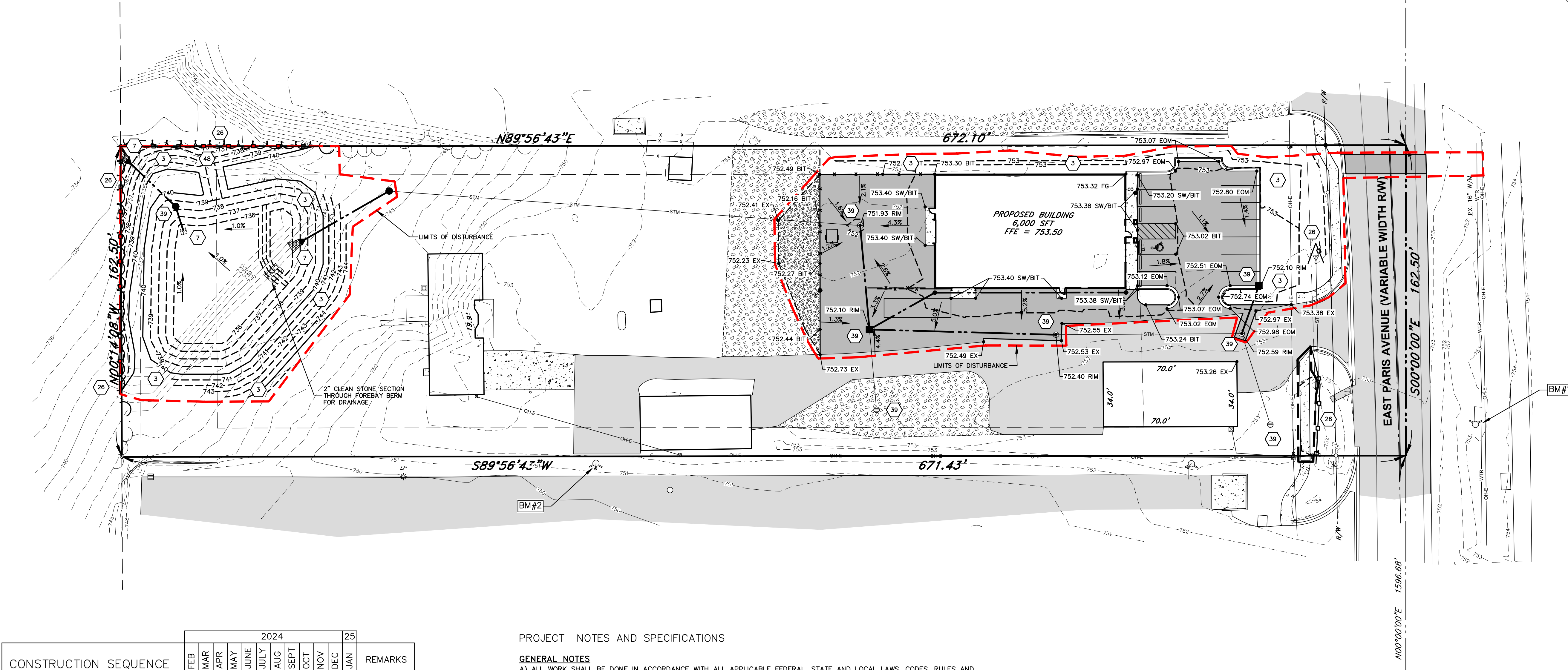
GRAPHIC SCALE
30' 0 15' 30'
(IN FEET)
1 inch = 30 ft.

SOIL EROSION CONTROL KEY

- 3 PERMANENT/TEMPORARY SEEDING
- 7 RIP RAP
- 26 GEOTEXTILE SILT FENCE
- 39 INLET PROTECTION WITH FILTER FABRIC
- 48 SOIL EROSION CONTROL BLANKET (N.A.G. S-150 OR EQUAL)

LEGEND

- 750 EXISTING MAJOR CONTOUR
- 751 EXISTING MINOR CONTOUR
- 750 PROPOSED MAJOR CONTOUR
- 751 PROPOSED MINOR CONTOUR
- PROPOSED BIT. PAVEMENT
- PROPOSED CONC.
- PROPOSED STORM SEWER
- DRAINAGE ARROW
- PROPOSED SPOT ELEVATION
- GRADE BREAK LINE
- SIDEWALK RAMP W/ LANDINGS AT EACH END
- LIMITS OF DISTURBANCE



CONSTRUCTION SEQUENCE	2024												REMARKS
	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	
INSTALL SILT FENCING AND INLET PROTECTION													REQUIRED
CLEAR VEGETATION AND STRIP AND STOCKPILE TOPSOIL													
ROUGH GRADE SITE													
CONSTRUCT BUILDING													
INSTALL UTILITIES													
INSTALL CURBING AND PAVEMENT													
FINISH GRADE, PLACE PLANTINGS, TOPSOIL AND SEED, AND MULCH BLANKETS													
CLEAN PAVEMENTS AND STORM SEWER													
REMOVE TEMPORARY EROSION CONTROL													

STORM WATER MANAGEMENT SYSTEM MAINTENANCE
THE STORM SEWER AND DETENTION SYSTEMS MUST BE INSPECTED AND MAINTAINED
ON A REGULAR BASIS FOR OPTIMAL PERFORMANCE. SEE CHART BELOW FOR
SUGGESTED INTERVALS.

TASKS	COMPONENTS	SCHEDULE											
		BASIN	DOCK	SLOPES	BASIN BOTTOM	BASIN INLETS	DOCK INLETS	CATCH BASIN STRUCTURES	CATCH BASIN INLETS	CATCH BASIN SUMPS	STORM SEWER SYSTEM		
INSPECT FOR ACCUMULATION		●	●	●	●	●	●	●	●	●	●	ANNUALLY	
REMOVE SEDIMENT ACCUMULATION		●	●	●	●	●	●	●	●	●	●	EVERY 5-10 YEARS AS NEEDED	
INSPECT FOR DEBRIS (DEAD VEGETATION AND TRASH)	●	●	●	●	●	●	●	●	●	●	●	EARLY SPRING, FALL AND AFTER MAJOR STORMS	
CLEAN DEBRIS	●	●	●	●	●	●	●	●	●	●	●	AS NEEDED	
INSPECT FOR EROSION ON BANKS AND BOTTOM	●	●	●	●	●	●	●	●	●	●	●	EARLY SPRING, FALL AND AFTER MAJOR STORMS	
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	●	●	●	●	●	●	●	●	●	●	●	AS NEEDED	
RAKE OUT DEAD VEGETATION		●	●	●	●	●	●	●	●	●	●	ANNUALLY-EARLY SPRINGS	
REPLACE STONE RIP-RAP		●	●	●	●	●	●	●	●	●	●	AS NEEDED	
MOWING	●	●	●	●	●	●	●	●	●	●	●	AS NEEDED (MIN. ANNUALLY)	

PROJECT NOTES AND SPECIFICATIONS

GENERAL NOTES

- A) ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY STATE AND LOCAL AGENCIES RELATED TO SOIL EROSION AND SEDIMENTATION.
- B) ALL ITEMS OF WORK NOT COVERED BY THESE SPECIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE GAINES TOWNSHIP SPECIFICATIONS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE MOST STRINGENT REQUIREMENTS AS LISTED IN THE PLANS AND SPECIFICATIONS SHALL APPLY.
- C) ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS DIG AT 811/482-7171 AT LEAST 3 WORKING DAYS PRIOR TO ANY UNDERGROUND CONSTRUCTION.
- D) CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER 48 HOURS BEFORE WORK BEGINS.
- E) ROOSSEN AND ASSOCIATES AS THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE OR LIABLE FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH RISE FROM OTHERS' FAILURE TO OBTAIN AND FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.
- F) CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, CONSTRUCTION MEANS, CONTROLS, TECHNIQUES, SEQUENCES AND PROCEDURES.

GENERAL SPECIFICATIONS

- A) ALL CONSTRUCTION AREAS SHALL BE CLEARED OF ALL TREES, BRUSH, WEEDS, ETC. ALL SPOIL MATERIAL IS TO BE DISPOSED OF IN AREAS DESIGNATED BY THE OWNER AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- B) STRIP ALL TOPSOIL AND ORGANIC MATERIAL ON SITE WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT WHERE GRADES ARE TO BE CHANGED, OR IN AREAS TO BE IMPROVED. IF MATERIAL IS FREE OF ROOTS, ROCKS AND DEBRIS, AND IS APPROVED BY THE ENGINEER, IT SHALL BE TEMPORARILY STOCKPILED ON SITE FOR LATER USE.
- C) CONSTRUCTION ACCESS AND MATERIAL STORAGE IS LIMITED TO THE AREAS DESIGNATED ON THE DRAWINGS OR AS APPROVED BY THE OWNER.
- D) WHERE IT IS NECESSARY TO WORK OUTSIDE THE PROPERTY CONTROLLED BY THE OWNER, THE CONTRACTOR SHALL OBTAIN LEGAL AUTHORITY FROM ADJACENT PROPERTY OWNERS TO COMPLETE THE WORK AS OUTLINED IN THESE DOCUMENTS.
- E) ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE BROUGHT TO FINISH GRADES AS SHOWN ON THE DRAWINGS. ALL AREAS DISTURBED SHALL BE RESTORED WITH A MINIMUM OF 4" OF TOPSOIL, SEEDED AND MULCHED.
- F) THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION ON THE NEED FOR IMPORTED OR EXPORTED MATERIAL. THE PROPOSED GRADING PLAN MAY NOT PROVIDE FOR A "BALANCED" SITE.
- G) ALL AREAS DISTURBED DUE TO SITE ACCESS SHALL BE RESTORED TO THE PRECONSTRUCTION CONDITION OR BETTER.
- H) BACKFILL AND COMPACTION: ALL BACKFILL SHALL BE CLEAN, FREE OF LARGE ROCKS, DEBRIS AND ORGANIC MATERIAL. COMPACT ALL BACKFILL TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D-1557. BACKFILL SHALL BE PLACED IN A MAXIMUM OF 12" LIFTS.
- I) STORM SEWER CATCH BASINS TO BE 4' DIA., UNLESS OTHERWISE NOTED. STORM SEWER OUTLETS TO BE 2' DIA., UNLESS OTHERWISE NOTED. ALL CATCH BASINS AND OUTLET STRUCTURES SHALL HAVE A 2' DEEP SUMP. CATCH BASIN GRATE SHALL BE E.J.I.W. #1040 TYPE M2 IN PAVED AREAS AND E.J.I.W. #7045 TYPE M1 IN CURB AND GUTTER AREAS.

SITE CONCRETE FLATWORK

- A) MATERIALS: READY MIXED CONCRETE: ASTM C94. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,500 PSI FOR ALL EXTERIOR CONCRETE. 1. SLUMP RANGE: 2 INCHES TO 4 INCHES. 2. AIR CONTENT: 4 PERCENT TO 7 PERCENT. 3. LIMESTONE AGGREGATE SHALL BE USED.
- B) CURING MATERIAL: ASTM C171 WHITE, OPAQUE POLYETHYLENE FILM TYPE.
- C) EXPANSION JOINT FILLERS: SHALL BE ASTM D1751 PREFORMED, BITUMINOUS FIBER TYPE WITH EXPANSION BOARD CAP AND REMOVABLE TOP CAP SECTION.
- D) CONCRETE SEALER: SEALANT TO BE 2-PART URETHANE PAVING SEALANT. SEALANT TO BE POURABLE, CHEMICALLY CURING COMPLYING WITH FS SS-5-200 WITH MINIMUM MOVEMENT CAPABILITY OF 12.5 PERCENT. HYDROZO, ENVIROSEAL 40.
- E) CONSTRUCTION JOINTS FLATWORK 1) MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS 100 FEET, UNLESS OTHERWISE SHOWN. SCORE CONTROL JOINTS EQUAL TO THE WIDTH OF THE WALK, OR DRIVE BUT NOT TO EXCEED THE LESSER OF 12 FEET OR 24 TIMES THE THICKNESS. 2) INSTALL EXPANSION JOINTS MATERIAL AT ABUTMENT TO CURBS AND ADJACENT STRUCTURES, UNLESS OTHERWISE SHOWN.
- F) CONSTRUCTION JOINTS CURBS AND GUTTERS 1) MAXIMUM CONSTRUCTION BETWEEN EXPANSION JOINTS 20 FEET, STRAIGHT CURB 10 FEET.
- G) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL SHOWN ON THIS DRAWING.
- H) PRIOR TO PLACEMENT OF GRAVEL, THE SAND SUBBASE SHALL BE ROLLED TO OBTAIN A MINIMUM OF 95% OF MAXIMUM DENSITY PER THE MODIFIED PROCTOR TEST, ASTM-1557
- I) PRIOR TO PLACEMENT OF ASPHALT, THE GRAVEL SHALL BE PROOF ROLLED AND COMPACTED TO 98% OF MAXIMUM UNIT DENSITY PER THE MODIFIED PROCTOR TEST, ASTM-1557
- STRIPING
- A) PARKING LOT STRIPING SHOULD FOLLOW THE BELOW COLOR SCHEDULE.
- PARKING AND STORAGE LOT STALLS SHOULD BE STRIPED IN YELLOW PAINT.
- BARRIER-FREE STALLS SHOULD BE STRIPED IN BLUE PAINT.
- B) FOR UNCURED SURFACES USE SETFAST WATERBORNE TRAFFIC MARKING PAINT.

REVISIONS:

DRAWN BY: YS

APPROVED BY: MC

DATE: FEBRUARY 1, 2024

REVISIONS:

Roosien & Associates

ENGINEERING AND ARCHITECTURE

6005 PLAINFIELD AVE SE, SUITE 100, WALKER, MI 49787

PHONE: (616) 361-7220

FAX: (616) 361-7220

WWW.ROOSIEN-AND-ASSOCIATES.COM

CLIENT:

Jim Rapa - Stone Pro LLC

800 N Old US 23 Hwy

Brighton, MI 48114

616-329-0427

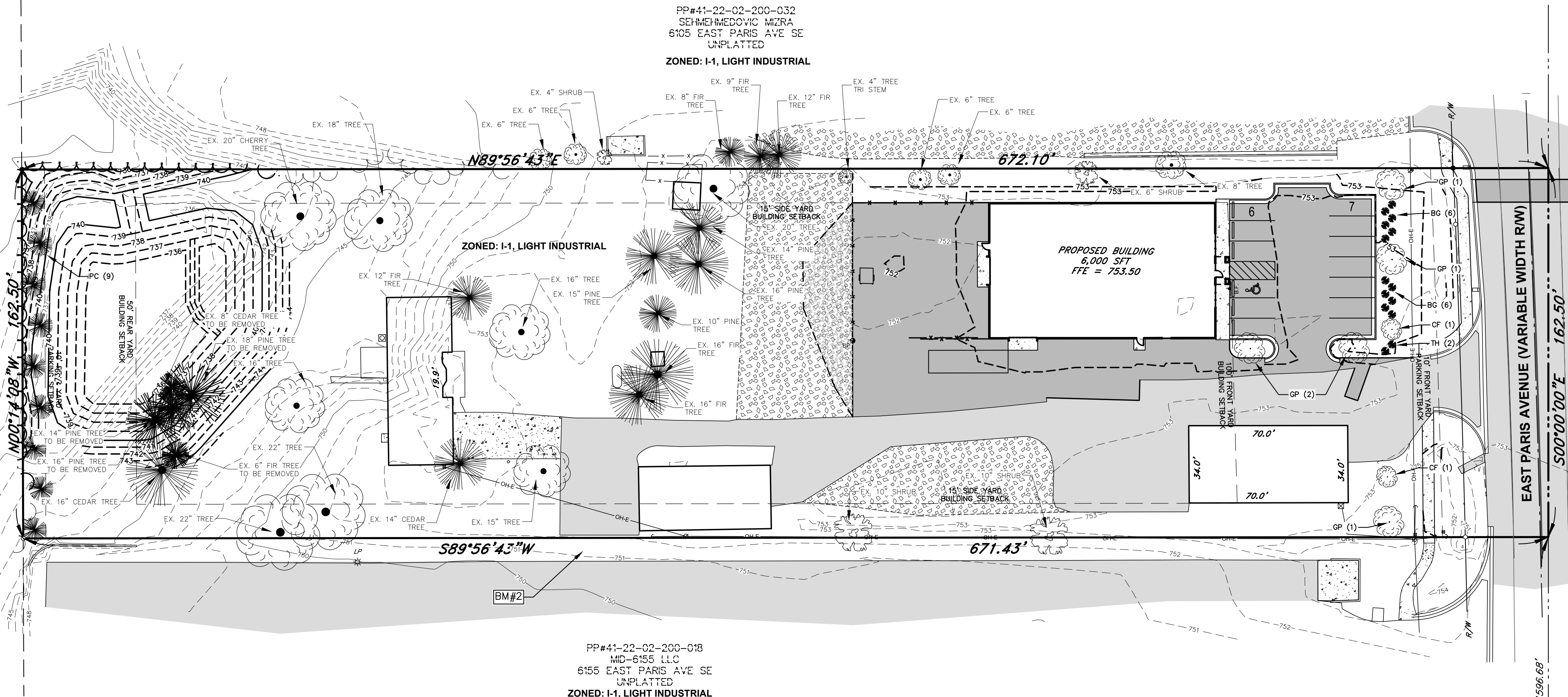
PROJECT NO.

231197

C-104

PP#41-22-02-200-007
KARELSE THOMAS R & EFFIE M
3842 60TH ST SE
UNPLATTED

ZONED: PUD, PLANNED UNIT DEVELOPMENT



FRONT YARD LANDSCAPING			
SPECIES NAME	BASE VALUE POINT	QUANTITY	TOTAL POINT
PRINCETON SENTRY GINKGO	10	3	30
PINK SPIRES FLOWERING CRAB	6	2	12
HICKS YEW	3	2	6
GREEN VELVET BOXWOOD	3	12	36
TOTAL POINT			84

PARKING LOT LANDSCAPING			
SPECIES NAME	BASE VALUE POINT	QUANTITY	TOTAL POINT
PRINCETON SENTRY GINKGO	10	2	20
TOTAL POINT			20

NOTES:

- ALL LANDSCAPING SHALL BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR TO THE SIZE SPECIFIED ON THE LANDSCAPE PLAN. SMALLER SIZES WILL BE REJECTED.
- ALL PLANTINGS SHALL BE MULCHED WITH 3" SHREDDED PREMIUM HARDWOOD BARK MULCH. TREES IN LAWN AREAS SHALL RECEIVE A 6" DIAMETER BARK RING 3" DEEP. THE LANDSCAPE CONTRACTOR SHALL REMOVE ANY TWINE THAT IS WRAPPED AROUND THE TRUNK OF A TREE OR SHRUB AS WELL AS TOP THIRD OF ANY BURLAP. REMOVE EXCESS SOIL ON THE TOP OF THE ROOT BALL TO EXPOSE THE ROOT FLARE OR FIRST LAYER OF ROOTS PRIOR TO PLANTING. USE A WIRE CUTTER TO MAKE 35 CUTS IN THE WIRE BASKET TO ALLOW ROOTS TO GROW THROUGH.
- PLANTING AREAS SHALL BE EDGED WITH A MECHANICAL BED EDGER AT A DEPTH OF 4" TO DEFINE BORDER FOR SHREDDED BARK MULCH.
- PARKING ISLANDS SHALL BE BACK FILLED WITH AT LEAST 24" OF TOPSOIL. AMEND THE TOPSOIL WITH COMPOSTED MANURE AND MIX INTO THE TOP SOIL AT A DEPTH OF 6-12". ANY AGGREGATE OR STONE FROM THE CONSTRUCTION OF THE PARKING LOT SHALL BE REMOVED PRIOR TO BACKFILL.
- LAWN AREAS SHALL RECEIVE AT LEAST 4" OF TOPSOIL AND HYDROSEED. CHECK WITH SPECIFICATIONS FOR TOPSOIL AVAILABILITY OR CONTACT PROJECT MANAGER. TOPSOIL FOR LAWNS SHALL BE APPROPRIATE FOR GROWING AND SUSTAINING A HEALTHY LAWN. ALL LAWNS EXCLUDING THE DETENTION BASINS SHALL BE HYDROSEED WITH A SEED BLEND CONSISTING OF 30% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 10% HARD FESCUE, 20% CREEPING RED FESCUE AND 20% CHEWINGS FESCUE.
- MAINTENANCE OF THE LANDSCAPE SHALL BE PROVIDED BY THE OWNER AND INCLUDING FERTILIZING OF LAWN AND PLANT MATERIAL, YEARLY PRUNING, TOP DRESSING OF MULCH AREAS EVERY OTHER YEAR, AND PROVIDE 1" OF WATER PER WEEK DURING THE GROWING SEASON.
- PLANT MATERIALS SHALL BE CHOSEN AND INSTALLED IN ACCORDANCE WITH STANDARDS RECOMMENDED BY THE COUNTY COOPERATIVE EXTENSION SERVICE OR AMERICAN NURSERY ASSOCIATION.

REQUIRED LANDSCAPING NOTES:

- FRONT YARD LANDSCAPING:
 - REQUIRED POINTS CALCULATED BY FRONTAGE LENGTH DIVIDED BY TWO. (162.58 LFT/2 = 81.29)
 - 82 POINTS REQUIRED AND 84 POINTS PROVIDED.
 - 3 CANOPY TREES, 2 INTERMEDIATE TREES, AND 14 EVERGREEN SHRUBS PROVIDED (13 SPACES*1.5 = 19.5)
- PARKING LOT LANDSCAPING:
 - REQUIRED POINTS CALCULATED BY 1.5 TIMES THE TOTAL NUMBER OF PARKING PROVIDED. (13 SPACES*1.5 = 19.5)
 - 20 POINTS REQUIRED AND PROVIDED.
 - 2 CANOPY TREES PROVIDED
- BUFFER LANDSCAPING:
 - 1 TREE PER 20 LFT AND 1 ROW OF EVERGREEN SHRUBS REQUIRED
 - 9 TREES REQUIRED AND 9 EVERGREEN TREES PROVIDED
- ALL DISTURBED AREAS TO BE RESTORED WITH TOPSOIL, SEED, AND MULCH
- ALL REQUIRED LANDSCAPING MATERIALS SHALL CONFORM TO GAINES TOWNSHIP LANDSCAPING ORDINANCE

PLANT SCHEDULE:

TREES	COMMON NAME	SIZE	CONTAINER	QUANTITY
GP	PRINCETON SENTRY GINKGO	2" CAL.	B&B	5
PC	NORWAY SPRUCE	5" HIGH	B&B	9
CF	PINK SPIRES FLOWERING CRAB	1.5" CAL.	B&B	2
SHRUBS				
TH	HICKS YEW	24"	POT	2
BG	GREEN VELVET BOXWOOD	24"	POT	12

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

PROJECT NO.
231197

L-101

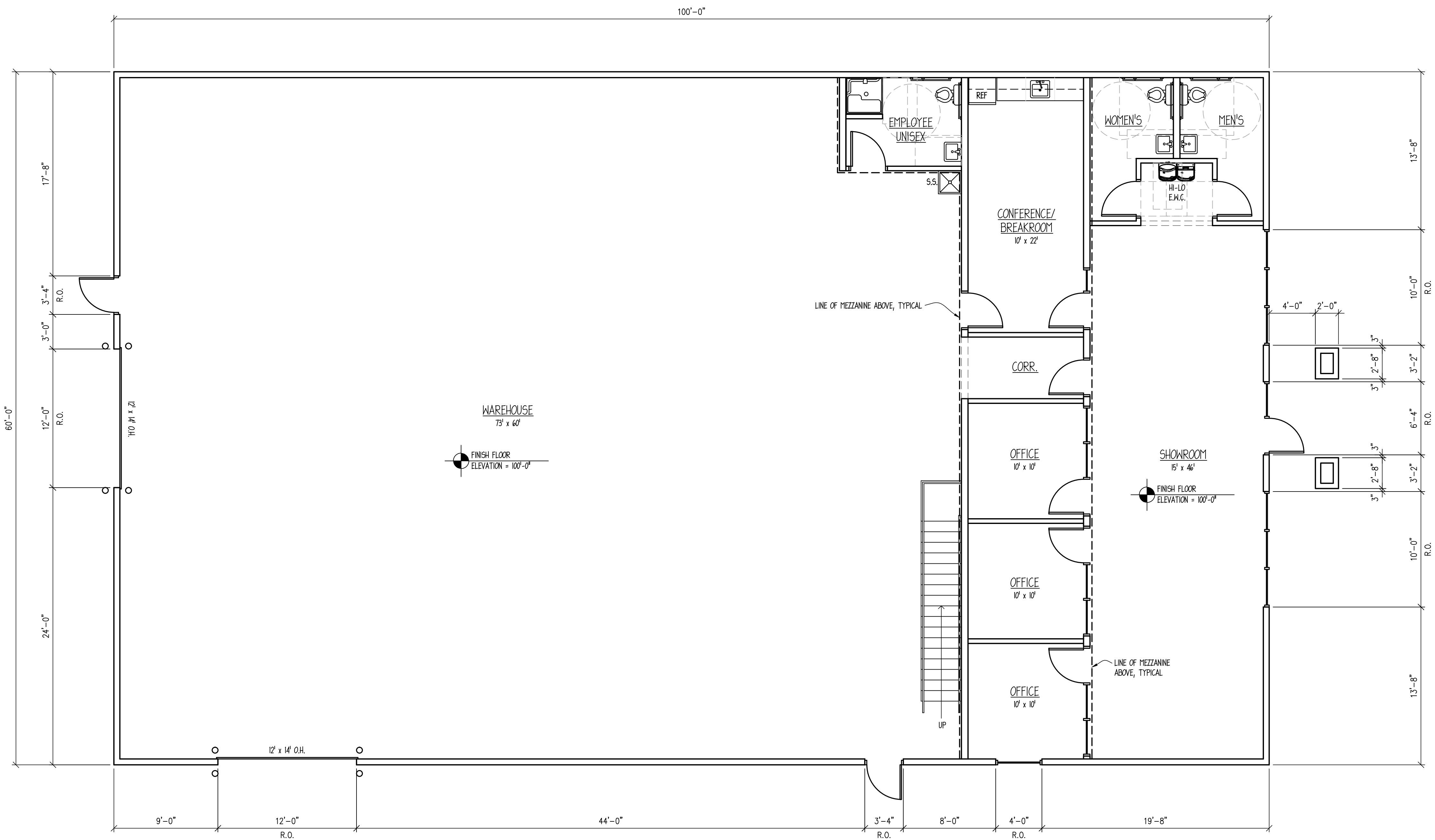
LANDSCAPE PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

Roostin & Associates
ENGINEERING AND ARCHITECTURE

6035 PLAINFIELD AVE SE
GRAND RAPIDS, MI 49505
TEL: (616) 361-7220

DRAWN BY: YS
APPROVED BY: MC
DATE: FEBRUARY 1, 2024

REVISIONS:



PRELIMINARY
NOT FOR CONSTRUCTION

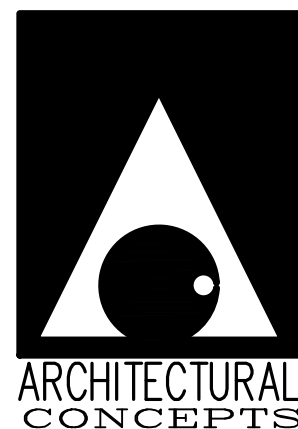
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DATE	REVISION
12-05-2023	FOR REVIEW
12-06-2023	FOR REVIEW
12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316



ARCHITECTURE
PLANNING
ENGINEERING

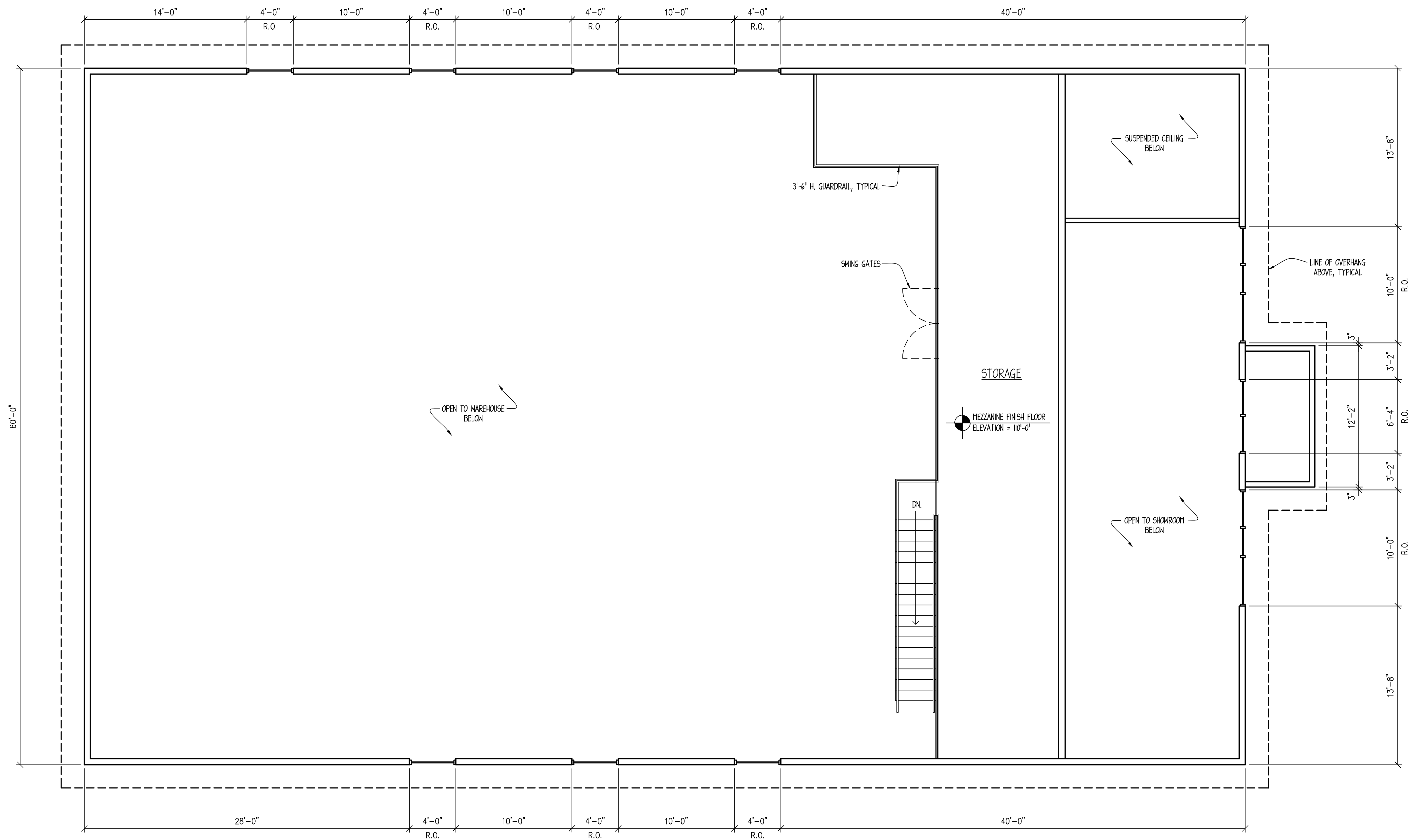
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

DATE DECEMBER 5, 2023 PROJECT No. 23-88

SHEET No.

A-1





PRELIMINARY
NOT FOR CONSTRUCTION

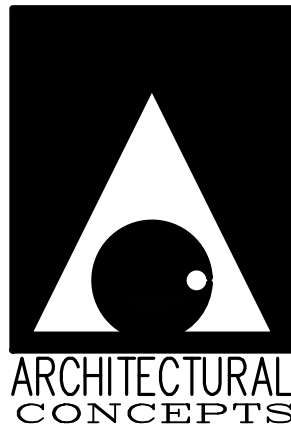
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12-05-2023	FOR REVIEW
12-06-2023	FOR REVIEW
12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316



ARCHITECTURE
PLANNING
ENGINEERING

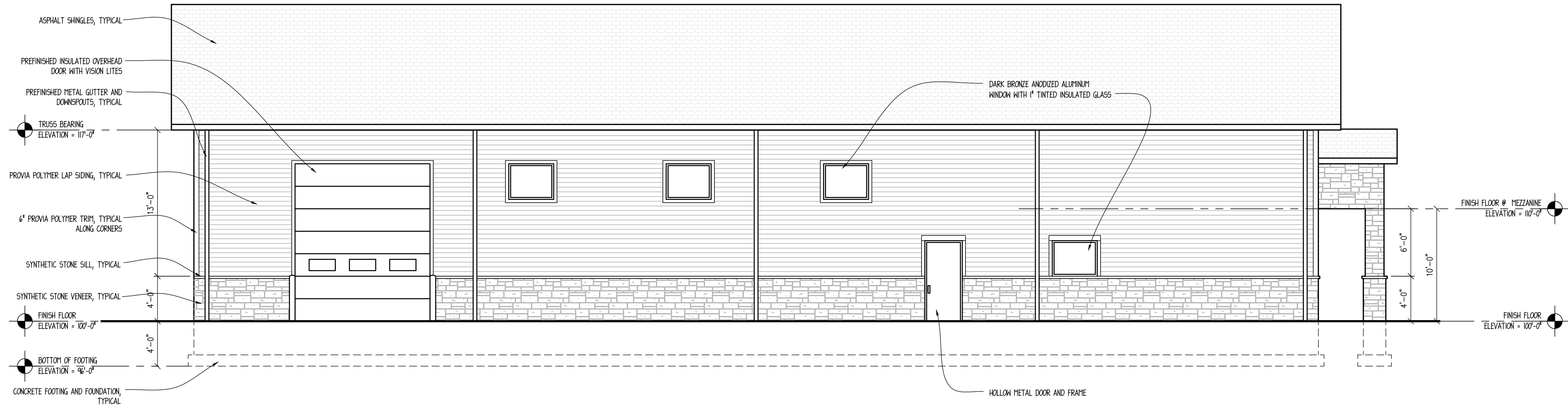
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

DATE: DECEMBER 5, 2023 PROJECT No. 23-88

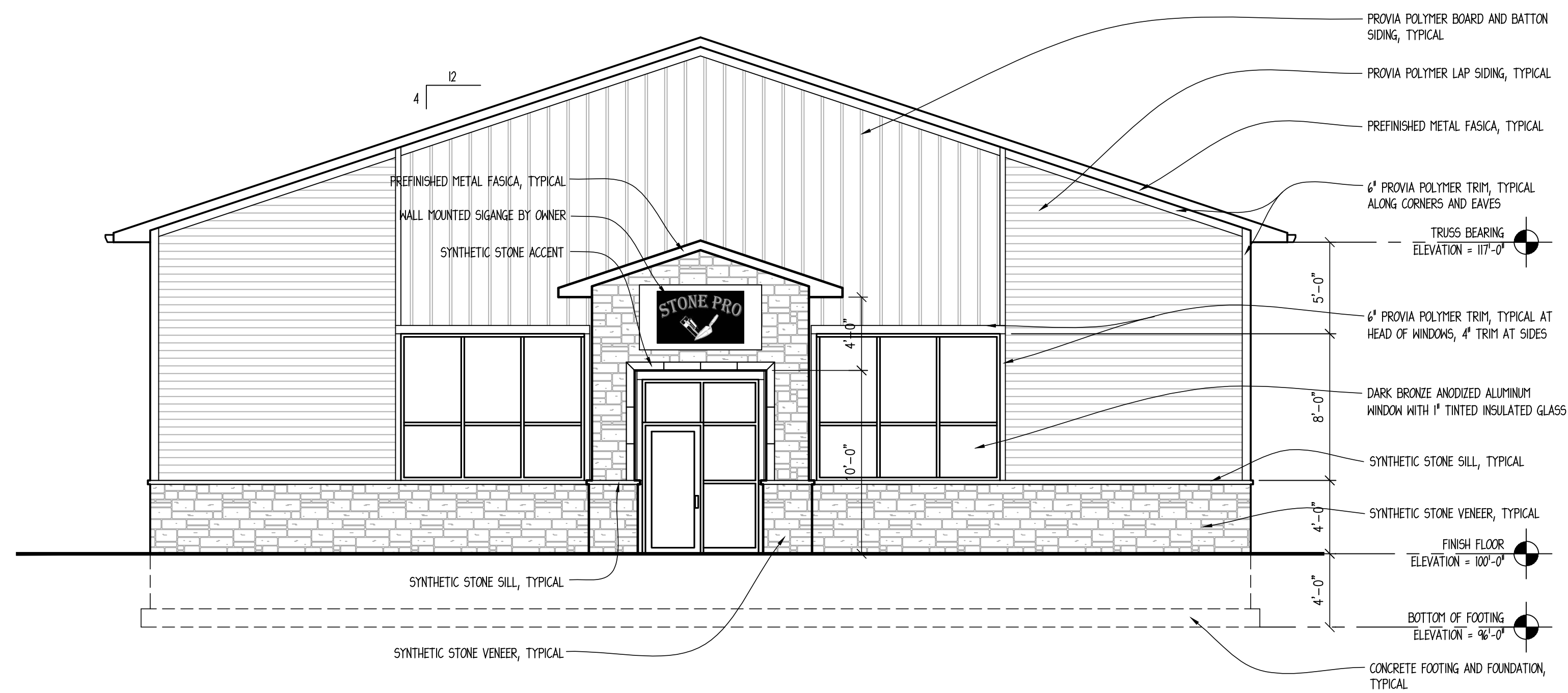
SHEET No.

A-1.5





2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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DATE	REVISION
12-05-2023	FOR REVIEW
12-06-2023	FOR REVIEW
12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316

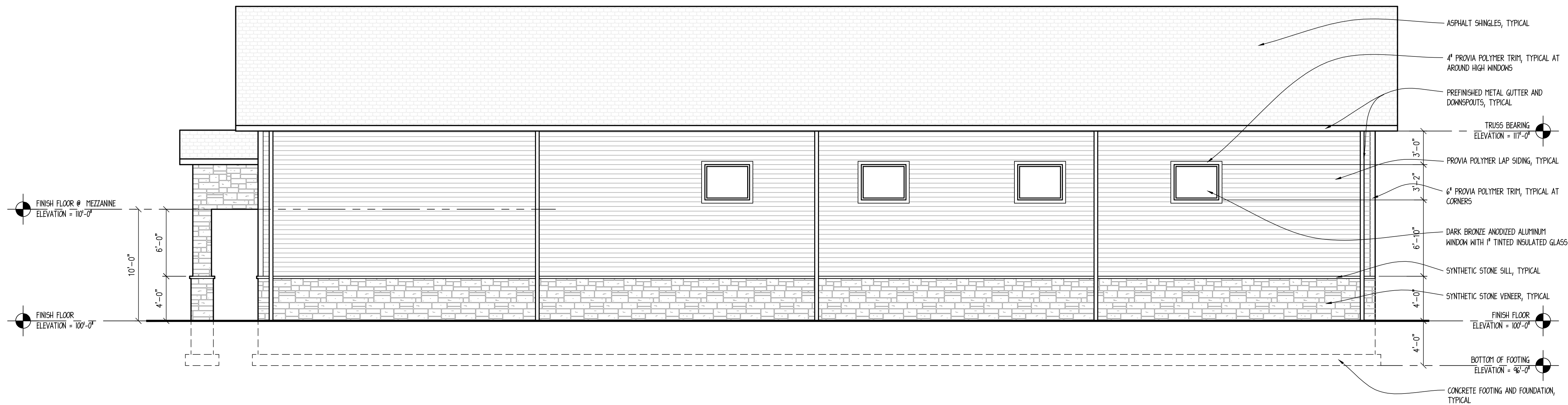


ARCHITECTURE
PLANNING
ENGINEERING
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

DATE: DECEMBER 5, 2023 PROJECT No. 23-88

SHEET No.

A-2



PRELIMINARY
NOT FOR CONSTRUCTION

2 NORTH ELEVATION
A-3 SCALE: 3/16" = 1'-0"

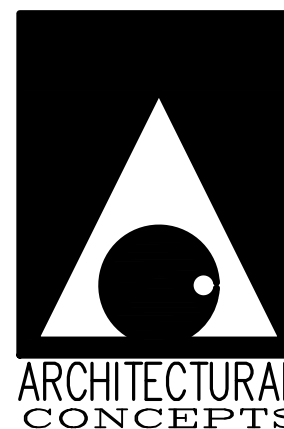
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12-05-2023	FOR REVIEW
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12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316



ARCHITECTURE
PLANNING
ENGINEERING

6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

DATE: DECEMBER 5, 2023 PROJECT No. 23-88

SHEET No.

A-3



1 WEST ELEVATION
A-3 SCALE: 3/16" = 1'-0"



Vriesman
& Korhorn

February 29, 2024
1319

Via Email: dan.wells@gainestownship.org

Dan Wells, Community Development Manager
Gaines Charter Township
8555 Kalamazoo Ave SE
Caledonia, MI 49316

RE: Stone Pro – Site Plan and Construction Plan Review
6141 East Paris Avenue, Section 2, Gaines Charter Township

Dear Dan:

We have reviewed the site plan and stormwater management package for the proposed Stone Pro development located at 6141 East Paris Ave SE that we received on February 8, 2024. We provide the following comments for the consideration of the Planning Commission and the Applicant.

General/Stormwater

1. The Applicant's Engineer shall include a benchmark on all plan sheets.
2. The Applicant shall provide clarification regarding the presence of wetlands on the site. There is evidence of a possible wetland area in the location where the detention pond is proposed.
3. The Applicant shall prepare a Gaines Charter Township Stormwater Permit application and submit it to our office for review and approval.
4. The Applicant will be required to obtain a Soil Erosion and Sedimentation Control (SESC) permit from the Kent County Road Commission (KCRC) for the proposed site improvements. A copy of the permit shall be provided to the Township and our office prior to the start of any earth disturbance on the site.
5. The Applicant will be responsible for abandoning any existing wells and/or septic systems as necessary. The abandonment work must be performed in accordance with the Kent County Health Department requirements.
6. The Applicant will be required to provide a sidewalk easement to Gaines Charter Township for the portion of sidewalk that is outside the East Paris Avenue Right-of-Way. We note that the sidewalk alignment is highly nonstandard as proposed and the location

shall be revised to extend to the north property line in the same alignment as it is shown south of the proposed driveway.

7. The Applicant shall submit evidence of KCRC approval for the proposed open cut of East Paris Avenue for the installation of the water service.
8. The Applicant's Engineer shall show the adjacent parcels' owner, address, parcel number information on all sheets.
9. The Applicant's Engineer shall show and label the existing public utility easements for sanitary sewer with their recorded instrument number.
10. The Applicant's Engineer shall include full details on the landscape plan. Currently the site layout is not visible on Sheet C-102.
11. It is unclear if a monument sign is proposed for the site. If a sign is proposed it shall be located outside of the existing sanitary sewer easement.
12. The proposed landscaping shown on Sheet L-101 will be located in the existing sanitary sewer easement as shown. The proposed landscaping shall be relocated outside of the easement area.
13. The Applicant shall address what is intended for the house that is currently located on the site along with the two existing pole barns.
14. The Applicant shall provide a fixture count for the entire building to our office to size the water meter. The Applicant will be responsible for all costs associated with purchasing and installing the water meter. If the landscaping and lawn areas around the building are proposed to be irrigated, a separate water meter will be required.
15. The Applicant's Engineer shall include a primary spillway calculation. It appears that the calculation may have been "cut off" the page in this submittal.
16. Minimal cover is proposed for the storm sewer in the parking lot. It shall be demonstrated that what is proposed is sufficient in accordance with the manufacturers specifications.
17. The Applicant's Engineer shall specify a permanent form of erosion control method on the emergency spillway. The N.A.G. S-150 matting is designed to degrade over time and is not considered permanent.
18. We recommend that the Applicant contact the Water & Sewer Administrator to determine if any connection fees are due for this property.

Watermain/Sanitary Sewer

19. The Applicant's Engineer shall include a sand/oil interceptor that meets the requirements of the Byron-Gaines Utility Authority (BGUA) as a part of the site plan. It appears that vehicle access to the interior of the building is proposed through overhead doors. Floor drains shall be installed and directed into the sand/oil separator.
20. The Applicant's Engineer shall show and label the existing 8-inch watermain running along the property line with the site to the south.
21. The Applicant's Engineer shall include a note that no unions will be allowed between the corp stop and curb stop on the 1.5-inch water service.
22. The Applicant's Engineer shall include a note that the nearest mainline valves are 580-feet to the north and 1120-feet to the south along East Paris Avenue from the hydrant across from the site.
23. There is an existing lateral to the site near the south property line. The Applicant will be required to use this lateral or abandon it in accordance with Byron-Gaines Utility Authority requirements.
24. The Applicant's Engineer shall move the curbstop so that is located outside of the sidewalk. The required sidewalk redesign may address this comment (see comment #6).
25. The tapping wye for connecting to the existing sanitary sewer shall be specified as a Contech Saddle Wye 8x6 (SW) with SS straps compatible with the existing 8-inch Truss Pipe.
26. The Applicant's Engineer shall correct the label on the existing sanitary sewer to note that it is 8-inch diameter sewer.
27. The Applicant's Engineer shall label the lateral invert elevation where it connects to the proposed building.

If you have any questions, concerns, or require additional information, please do not hesitate to contact our office.

Sincerely,

VK Civil

A handwritten signature in blue ink, appearing to read 'Jeffrey M. Gritter', is written over the printed name.

Jeffrey M. Gritter, P.E.

JMG/nfb

- c. Rob DeWard, Supervisor
- Rod Weersing, Township Manager
- Connie Giarmo, Planning Commission Chairman
- Dakota Swan, Assistant Planner
- John Stuyfzand, Building Inspector
- Tracy Lawrence, Water & Sewer Administrator
- Ken Van Hall, Dutton Fire Department
- Casey Bennett, Byron-Gaines Utility Authority
- Wayne Harrall, P.E., Kent County Road Commission
- Dave Beck, Kent County Road Commission
- Jim Rapa, Stone Pro, LLC
- Matt Cole, P.E., Roosien & Associates



D-Series Size 1 LED Area Luminaire



Catalog Number	
Notes	
Type	

Hit the tab key or mouse over the page to see all interactive elements.

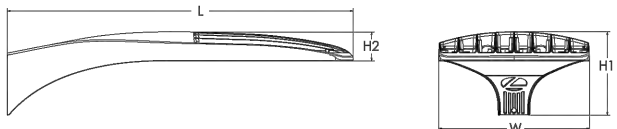
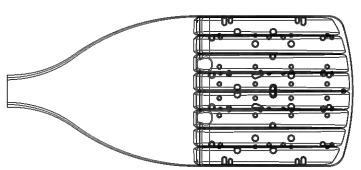
Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Specifications

EPA: 0.69 ft²
(0.06 m²)
Length: 32.71"
(83.1 cm)
Width: 14.26"
(36.2 cm)
Height H1: 7.88"
(20.0 cm)
Height H2: 2.73"
(6.9 cm)
Weight: 34 lbs
(15.4 kg)



Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED	Series	LEDs	Color temperature ¹	Color Rendering Index ⁴	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)					
P1	P6	30K 3000K	70CRI	T1S	Type I short	TSM	Type V medium
P2	P7	40K 4000K	70CRI	T2M	Type I medium	T5W	Type V low glare
P3	P8	50K 5000K	70CRI	T3M	Type I medium	BLC3	Type V wide
P4	P9	(this section 80CRI only, extended lead times apply)	80CRI	T3LG	Type II low glare ¹	BLC4	Type V backlight control ¹
P5				T4M	Type IV medium	LCCO	Type V low glare ¹
	Rotated optics			T4LG	Type IV low glare ¹	TFM	Forward throw medium
P10 ¹	P12 ¹	27K 2700K	80CRI				
P11 ¹	P13 ¹	30K 3000K	80CRI				
		35K 3500K	80CRI				
		40K 4000K	80CRI				
		50K 5000K	80CRI				

Control options	Other options	Finish required
Shipped installed NLTAIR2 PIRHN all light AIR-gens 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 26" ^{10,11,12} PIR High/Low motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 26" ^{10,11,12} PER NEMA twist-lock receptacle only (controls ordered separately) ¹³ PERS Five-pin receptacle only (controls ordered separately) ^{14,15}	Shipped installed SPEDOMV 200V surge protection HS Houseside shield (black finish standard) ¹⁶ L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Central connection ¹⁷ HA 50% ambient operation ¹⁸ BAA Buy America(s) Act Compliant SF Single fuse (120, 277, 347V) ¹⁹ DF Double fuse (208, 240, 480V) ²⁰ Shipped separately EGSR External Gaze Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	Dark Bronze Black Natural Aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSX1 LED
Rev. 09/05/23
Page 1 of 10

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	XW1		2	Lithonia Lighting	DSX1 LED P3 40K 80CRI T3M	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 3 Medium	1	12628	1	102.17	
	XW2		2	Lithonia Lighting	DSX1 LED P3 40K 80CRI TFTM	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Forward Throw	1	12905	1	102.17	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE	+	0.8 fc	6.4 fc	0.0 fc	N/A	N/A



N.E. COR.
SEC. 2,
T5N, R11W

SITE PHOTOMETRICS FOR:
STONE PRO
6141 EAST PARIS AVE. S.E.
CALEDONIA, MICHIGAN 49316

ISSUED FOR:

02-13-24 FOR SITE PLAN
APPROVAL

PROJECT NUMBER:

2024041

DATE:

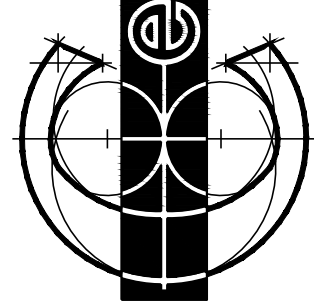
02-13-24

DRAWING NUMBER:

ES2

Classic Engineering, LLC

100 Cedar E. Chavez Ave. S.W. Suite 400
Marietta, Georgia 30066
Phone: 616-742-2810



Gaines Charter Township

Planning Commission Memo

Meeting Date: March 28th, 2024

AGENDA ITEM: VI.2.b

FILE NUMBER: 231219DL

PROPOSED REQUEST: Rezoning RL-10/RL-14/O-S/NC to PUD

PROPERTY ZONING DISTRICT: Residential-10 & -14, Office-Service, Neighborhood Commercial

ADDRESS: Part of 3316 68th Street SE

PROPERTY SIZE: ca. 30.82 acres

PARCEL NUMBER: Part of 41-22-11-101-012

REPORT BY: Dan Wells, Community Development Director

APPLICANT: J & A Post Family Farm, LLC; Dan Larabel-Allen Edwin Homes



OVERVIEW

The applicant requests to rezone part of a single parcel of approximately 30.82 acres to a Planned Unit Development (PUD) named Dutton Center to create a mixed use residential and commercial hub that will integrate with the existing historic urban fabric of Dutton. The residential aspect of the development includes 243 dwelling units:

- 51 detached homes on minimum 5,800 square foot lots.
- 15 “Veranda” homes.
- 57 four and two unit attached townhomes.
- 120 multiple family apartment units (10 buildings with 12 units each).

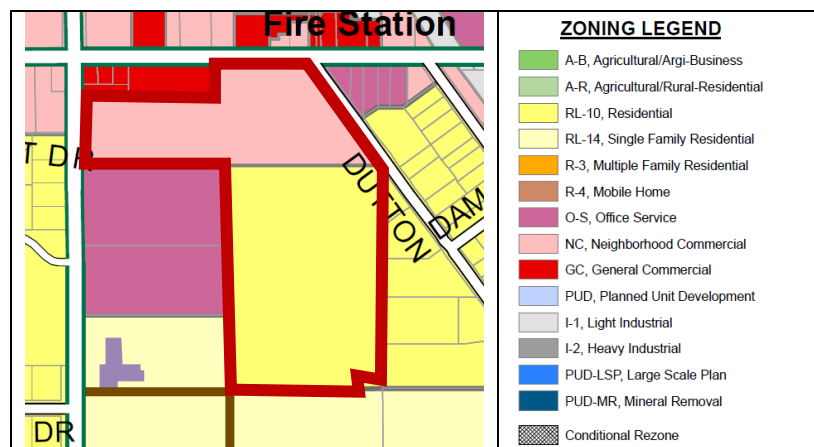
Mixed-Use aspects include:

- Two, one-story 14,500 sf commercial buildings along 68th Street (29,000 SF total)
- Two, two-story 22,500 sf mixed use commercial/residential buildings along Hanna Lake (55,000 SF total)

The developer is a subsidiary of Allen Edwin Homes, which has a track record of developing housing projects regionally. This second preliminary PUD review meeting is intended to present a revised concept (first meeting held on February 22nd, 2024) and provide the planning commission an opportunity to give the developer feedback, so they will have the opportunity to make any necessary alterations to the plans before they are submitted in final form for a public hearing and engineering review. The developer has recently obtained approval for the Thornapple Farms plat to the immediate south of the proposed PUD. This project is intended to tie into the Thornapple Farms development seamlessly, and provide a denser housing type to fulfill the master plan vision for Dutton as a Village Center.

Surrounding zoning:

	NORTH: NC	
WEST: Hanna Lake/RL-10 & NC	SUBJECT PARCEL	EAST: RL-10
	SOUTH: RL-10 (Thornapple Farms Plat)	



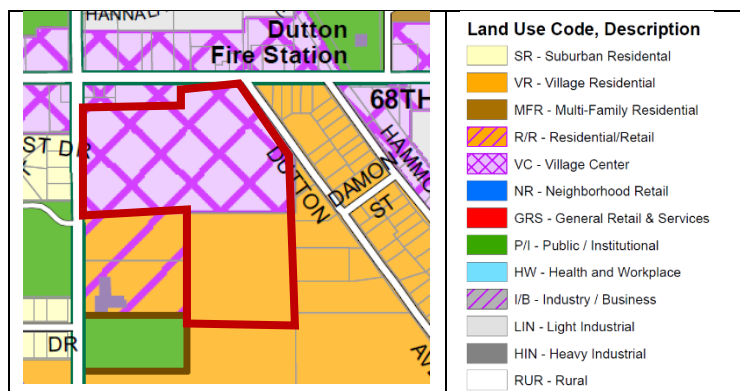
STANDARDS OF REVIEW

Under Section 10.1 Planned Unit Developments are intended to meet the following objectives as outlined in the Zoning Ordinance:

- A. Encourage innovation and creativity in land use planning and development.*
- B. Allow design flexibility that benefits the community and the environment and results in a better overall project than would be permitted under conventional zoning.*
- C. Create neighborhoods with a variety of housing options and a mix of land uses.*
- D. Create a package of amenities not typically achieved with conventional zoning, such as useable open space, preservation of key natural or historic resources, improvements to public roads or facilities, pathways, natural stormwater systems, more extensive landscaping, consistent and coordinated site design details among various projects (lighting, signs, building design, etc.) and high quality architectural design or materials.*
- E. Encourage the use, redevelopment, and improvement of existing sites.*
- F. Provide regulations for land uses that because of their character or size require a specialized review process.*

As this is the Preliminary Plan review, the request has been reviewed using the standards of Section 11.1, Planned Unit Development - General Review Standards. Additional information is included over the following pages concerning review considerations and standards.

- A. Consistency with Master Plan and Zoning Ordinance: The Planned Unit Development must further the goals and objectives of the Township Master Plan and must be consistent with it. It must also be consistent with the intent and purpose of this Zoning Ordinance.**



To Be Determined. The western arm of the proposed PUD covers a parcel currently zoned Office-Service and is future zoned Village Center. The main body of the proposed PUD is Neighborhood Commercial at the north end, Residential-10 in the middle and Residential-14 at the south end. These zoning categories do not meet the desired development goals of the applicant, thus the request for a PUD.

The Future Land Use map indicates that this parcel was partially intended for a Village Center development, and partially intended to be Village Residential uses. This future land use has been designated in this area of Dutton since the 2008 Master Plan.

Sixteen goals were set in the Master Plan specifically related to the development and redevelopment of Dutton (Pg. 42):

1. Create a “village center” along 68th Street that builds on the historic character of Dutton.
2. Promote mixed-use development in traditional development patterns, and a combination of multi-family and low-density development to provide a range of housing choices to attract workers to the area.
3. Promote mixed-use development near and/or within the same buildings including commercial, office and residential uses.
4. Promote compact, “traditional neighborhood” development and row houses near the historical center of Dutton. Encourage these neighborhoods to integrate with existing Dutton.
5. Encourage housing at varying densities near employment areas to provide a range of housing choices.
6. Provide businesses, entertainment, dining, cultural and recreation opportunities within the Dutton area to serve the workers and residents.
7. Provide parks, open space and pedestrian paths and sidewalks throughout the area to connect residential, commercial, and industrial employment areas.
8. Create a road network parallel to 68th Street and to Hanna Lake Avenue, to better distribute traffic through the area.
9. Consider traffic calming measures along 68th Street east and west of Hanna Lake.
10. Consider access management to ensure safe and efficient traffic movements along 68th Street, Hanna Lake Avenue and East Paris Avenue.
11. Provide inter-connected pedestrian and non-motorized paths between shopping, neighborhoods and employment areas, schools and parks/open spaces that connect to the Paul Henry Thornapple Trail and other trail systems.
12. Consider ordinances, guidelines and incentives for redevelopment that result in preserving and enhancing Dutton’s village character.
13. Determine the streetscape design elements that identify Dutton as a unique place and an exciting destination.
14. When necessary, acquire key properties to ensure that redevelopment meets the goals of this plan.
15. Integrate new residential and commercial areas into existing Dutton to capitalize on its unique village character.
16. Promote Dutton as an attractive place to live and work, as well as a premier location for industry, research and technology.

Village Center areas are intended to be mixed-use areas that integrate multiple uses at a pedestrian scale. The intent of the Village Center is to create a blend of commercial and residential structures and uses which are compatible and form a walkable “main street” atmosphere. This proposed plan does include mixed-use buildings and retail/commercial use, main street public space.

There is a question whether the Main Street concept is met; the central east-west corridor does connect the mixed-use buildings fronting Hanna Lake to residential areas on the interior. If looking to create a walkable retail environment this plan arrays the commercial and retail buildings to the periphery rather than making them the center. Parking lots are wrapped by buildings in this design, reinforcing the pedestrian nature of the central street corridor.

Village Residential is intended to have moderately higher residential density in areas served by utilities. Additionally, Village Residential zoning also aims to incorporate single family detached houses on relatively compact lots, and multi-unit connected townhomes for the sake of creating a neighborhood with mixed housing options. Townhouses are specifically included as a housing option, and vehicle access is intended to be rear loaded, via an alley facing garage or other method. The house types submitted for the project vary from single-family detached to attached townhouses. Many of the single-family house types exhibit prominent garages and limited front porches which are at odds with what is commonly understood as Traditional Neighborhood Design. The townhouse and terrace home models do meet the goals of the future land use plan, as the homes do meet Traditional Neighborhood Design definitions for Village Residential as outlined in the Master Plan.

“Residential neighborhoods surrounding the village center should be developed with Traditional Neighborhood Design concepts; front porches, reduced front setbacks, slow auto speeds, and rear or side garages will make a pedestrian-first community.” (Master Plan, pg. 38)

Overall, staff views the proposed PUD as closely following the desired residential uses in Dutton and the revised plan does integrate mixed uses, albeit to the edges rather than the center of the PUD. The Planning Commission should consider the sixteen goals listed above to determine if the proposed PUD plan meets them.

- B. Aesthetics: The Planned Unit Development must be aesthetically pleasing and be an integrated development with respect to building facades, building materials, landscape and berming, noise and visual screening mechanisms, and signs. It should contribute to creating a distinctive attractive community with a strong sense of place.**

Meets standard. The applicant has submitted proposed elevations that meet current ordinance standards for smaller single family detached and townhome buildings. The Planning Commission and Township Board are currently considering architectural standards that would likely alter requirements for porches, front loaded garages, and possibly architectural details that the submitted single family detached home designs would not meet. The developer intends to follow ordinance requirements for landscaping, screening, and signage based on the appropriate zoning for the specific commercial or residential context of the development.

- C. Compatibility with Adjacent Uses: The Planned Unit Development must be compatible with surrounding uses. Efforts must be made to reduce any adverse effects on surrounding uses.**

Meets standard. Although there is not a similar development in the immediate area in terms of smaller lot sizes, it is still proposed as a residential development and is compatible with surrounding uses. It will integrate into the Thornapple Farms plat seamlessly and create a reasonable transition between larger lots in the south portion and smaller ones in the north.

- D. Density: The density requirements of the proposed Planned Unit Development shall be based on the underlying land use district in the Master Plan. The Township Board, upon recommendation of the Planning Commission, may vary the density requirements if doing so would result in a development that better achieves the intent of the Master Plan.**

Undetermined. The proposed PUD includes both townhouses and single-family detached homes on lots smaller than currently allowed in R-3 zoning, but in line with lot sizes under currently proposed revisions to R-3 (i.e. Village Neighborhood). While the current ordinance is under consideration for revision, the Master Plan calls for density of townhouses and single-family detached homes in the Village Neighborhood context ranging from 8-14 units per acre, and the proposed net density for this project is 8.38 (which does not include roads, right-of-ways, open space, and water detention areas).

Village Center density would be anticipated to be potentially higher due to the integration of mixed-use buildings with apartments or condominiums. The Planning Commission will need to decide whether an R-3/Village Neighborhood density is appropriate for an area designated as Village Center. Since this is a PUD, there is some flexibility if the Planning Commission considers this PUD plan as meeting the objectives and intent of the Master Plan.

- E. Traffic: The Planned Unit Development shall be designed to minimize the effect of traffic generated by the proposed development on surrounding uses. Consideration should be given to:**
- 1. The amount and type of traffic generated by the proposed project and capacity of existing and proposed streets to safely absorb that additional traffic.**
 - 2. Whether the streets and pedestrian walkways within each project are designed to facilitate safe pedestrian and vehicular traffic flow patterns.**
 - 3. All points of ingress and egress to the project shall be located and designed to maximize safety.**

Meets Standard. The increase in residential parcels will certainly increase traffic along main roads leading to the development; combined with the Thornapple Farms plat, there will be 292 homes between both developments. A traffic study has been initiated to better understand the potential impacts of increased traffic in the area, and to develop plans to adequately manage the increase of residential traffic.

Sidewalks have been expanded and detailed on the revised plan and create good pathways for pedestrian access both internally and to surrounding road corridors.

Two main entrances are proposed, one on Hanna Lake about 630 feet south of the Hanna Lake/68th Street intersection and one on Dutton Avenue, which will help disperse traffic entering the major roads. The Kent County Road Commission will determine necessary safety controls at those intersections.

- F. Protection of Natural Environment:** Each project shall be designed to minimize adverse effects on the environment. Special emphasis shall be placed on maintaining the quality of air, soils, groundwater, streams, wetlands, and rivers.

Meets standard. The proposed project will be constructed on current agricultural land, and no natural features of exceptional value are located within the proposed PUD.

- G. Schools:** Whether a project can be served by existing schools and school related facilities and the impact upon schools if the property is developed in accordance with the Planned Unit Development plans or in accordance with the conventional zoning district requirements shall both be considered. In addition, streets and pedestrian walkways shall be designed and located in any project to facilitate the ability of students to make the best and safest use of existing schools and school related facilities.

Meets standard. The proposed project will certainly appeal to families, thus increases in the numbers of school-age children are likely. Three schools are located within walking distance to the development: Dutton Elementary, Dutton Christian Elementary, and Dutton Christian. It is likely that children will both walk and rely on parents driving or bussing to and from school. Pedestrian elements such as sidewalks will be located throughout the development, enabling school children to either walk directly or gather at bussing pick up points.

- H. Public Facilities:** The Planning Commission shall consider the impact a project will have on: 1. Public safety and protection services. 2. Water and sewer facilities. 3. The costs for such services. Each project shall be designed and located so as to facilitate use of, access to, or the logical expansion or extension of existing facilities in order to minimize any adverse financial or other impact upon the Township and to promote public health and safety.

Meets Standard. The developer will consult with fire protection as the plans are developed to ensure adequate response times and access. Water and sewer utilities are currently available for the proposed PUD within the 68th Street and Hanna Lake Avenue rights-of-way. All utility work will be paid for by the developer.

- I. Water, Sewer, and Drainage Systems:** A Planned Unit Development shall be served by a public or private water and sanitary sewer systems. The Kent County Health Department and/or the Township Engineer must approve the systems. A PUD shall also have a drainage system for surface water run-off which the Kent County Drain Commission and / or the Township Engineer must approve.

Undetermined. The developer has not provided full engineering plans for utility extensions but will need to submit them for site plan review and subsequently to obtain a recommendation for approval to the Township Board. All future and final development and utility plans will be subject to Township Engineering and KCDC review.

- J. Open Space:** The Planning Commission and Township Board should consider whether the PUD permanently preserves significant amounts of open space or significant natural features. The Township Board may require, upon recommendation of the Planning Commission, that natural amenities such as, but not limited to, ravines, rock outcrops, wooded areas, tree or shrub specimens, unique wildlife habitat, ponds, streams, and wetlands be preserved as part of the open space system.

Undetermined. The proposed PUD provides a plaza area in the apartment area, a strip of open space along Pileated, strip of open space along the boundary of Dutton Reformed United Church, and an addition to the park laid out at the north end of the Thornapple Farms plat. The current R-3 ordinance doesn't require any open space, but under the Village Neighborhood zoning currently under discussion, 1.14-acres would be required. Since the applicant desires to use the lot sizes based on the Village Neighborhood standard, staff recommends to similarly use the Village Neighborhood open space requirement to determine the appropriate amount of open space for this PUD.

Staff generally finds long linear strips of land along roadways and property boundaries to be inadequate for use as open space for recreation.

K. Non-Motorized Transportation Network: Projects within an identified trail network corridor may be required to construct a portion of the trail.

Undetermined. The approval of the Thornapple Farms plat will create a secondary road network that can serve as the basis for a marked bike path or trail to connect the PUD area to both Shadyside Park, and to the Paul Henry Thornapple Trail (via the dedicated path at Merrieville Court). Shared streets with bike path markers would be the minimum bike trail design. Staff recommends a condition that the developer define a specific trail with markers that directs cyclists towards Paul Henry Thornapple Trail.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission consider the proposed PUD and determine if it meets the goals of creating a Village Center in Dutton (as outlined in the Master Plan) and meets review standards of Sections 10.1 and 11.1. If the Planning Commission determines that standards are met, a public hearing can be scheduled for the requested PUD rezoning where the developer can provide finalized site and utility plans for public comment and further consideration.

Staff recommends the following conditions;

1. Secure all Township department and outside agency approvals:
 - a. Township Engineer/BGUA.
 - b. Fire Department.
 - c. Kent County Road Commission (SESC), if applicable.
 - d. Kent County Drain Commission, if applicable.
 - e. Environment, Great Lakes and Energy, if applicable.

Michiana Land Development, LLC
795 Clyde Court SW
Byron Center, Michigan 49315

Dan Wells, Planning Director
Gaines Charter Township
8555 Kalamazoo Avenue, SE
Caledonia, MI 49316

February 29, 2024

Re: PUD/Preliminary Plan Submittal #2 for Dutton Center (FKA Thornapple Village),
3316 68th Street SE

Dear Dan,

Attached please find the updated PUD/Preliminary Plan documents for Dutton Center, previously submitted with the name "Thornapple Village". This second submittal packet includes the following documents:

- Project Summary Narrative (12 copies)
- Preliminary Plan – Dutton Center (2 copies at 24"x36"; 10 copies at 11"x17")

We look forward to discussing this project with the Township and request consideration of the PUD/Preliminary Plan at the March 28, 2024 Planning Commission meeting.

If you have any questions or require additional information, please contact me at your earliest convenience.

Sincerely,



Dan Larabel
Land Manager
Michiana Land Development, LLC
795 Clyde Court SW
Byron Center, Michigan 49315
(616) 450-4631
dlarabel@allenedwin.com

Dutton Center Planned Unit Development

3316 68th Street SE

PUD/Preliminary Plan Project Narrative

February 29, 2024

Project Overview and Density

The subject property located at 3316 68th Street SE is comprised of 29.32 net acres (excluding the recently approved Thornapple Farms subdivision) and is currently zoned RL-10, Residential, RL-14, Residential, O-S, Office Service and C-1, Neighborhood Commercial. Michiana Land Development, LLC proposes the Dutton Center PUD on this property with a unique mixture of commercial and residential uses based on traditional neighborhood design principles, varying housing opportunities, and walkability using the Township's Dutton sub-area plan as a guide.

A total of 243 residential units are proposed on approximately 25.5 acres of residential designated land. The remaining 3.8 acres of land is designated for commercial uses. Residential units will include:

- 51 traditional single family platted lots that measure 50' in width
- 15 single family veranda homes with rear loaded garages
- 57 attached townhome units (15 buildings) with rear loaded garages.
- 120 multi-family three story garden style apartments units (10 buildings)

Residential flex use is incorporated into the two MU 2-story building. It is possible that 30 additional dwelling units could be incorporated into the project on the second floor. This would bring the unit total to 273 units over 29.3 acres and the overall density to 9.34 units/acre.

Commercial buildings fronting on Hanna Lake Ave and 68th St are intended to be uses oriented toward the Office Service and Neighborhood Commercial districts described in the township's ordinance. Building facades are arranged to be prominent towards primary streets with parking designated in the rear of the building. The buildings on 68th St are proposed as single-story commercial use with a terrace between the buildings. The buildings on Hanna Lake Ave are proposed as two-story buildings with commercial use on the main floor and commercial or residential use on the second floor.

All four commercial buildings are proposed as flexible spaces due to the constrained commercial real estate market. It is possible for the buildings to be built for a single user, or built on a

speculative basis for multiple tenants. No specific end users are proposed at this preliminary stage.

The Dutton Center PUD will be accessed through a mixed-use street network of public and private streets as shown on the plan. The commercial and multi-family portions will be constructed with access driveways. The single-family veranda homes with rear loaded detached garages and townhomes with rear loaded attached garages, will be accessed through a private alley. The project will be served by municipal water, sanitary sewer, and a public storm water system.

Project Density/Phasing

The Dutton Center PUD is proposed in three development phases beginning with the northern portion of the property along 68th St. Phase 1 was selected because the storm water management basin will be required to be constructed along with the mass grading of the area. Further, the sanitary sewer that serves the site is planned to come from 68th St. Phase 2 is proposed with the benefit of building a secondary access point for the approved Thornapple Farms Plat and the Dutton Center PUD.

Development Phase	Housing Types	Anticipated Construction
Phase 1	Rear Load Townhome = 57 units Rear Load Single Family Veranda = 15 units 72 units/10.6 acres = 6.8 units/acre Proposed as a leased housing options Commercial outlots created and made development ready	2025-2026
Phase 2	Single Family Platted Lots = 51 lots 51 units/9.9 acres = 5.2 units/acre Traditional platted subdivision	2026-2028
Phase 3	Garden Style Apartments = 120 Units 120 units/5 acres = 24 units/acre Commercial outlots created and made development ready and possible 30 additional dwelling units on the second floor of the mixed use buildings	2027-2029

Residential Product Offering and Setbacks

Residential units will include a unique mixture of single-family veranda homes with rear loaded detached garages and attached townhomes with rear loaded attached garages in the single owner portion of the PUD (Phase 1) built for the purposes of providing leasing opportunities. Single family detached homes with front loaded attached garages are proposed in the traditional platted subdivision portion of the PUD located in phase 2. Garden style three story apartments that include 12 units per building are proposed.

The single-family terrace homes will be 2-story, 1,640 square feet in floor area with 3 or 4 bedrooms, 2½ bathrooms and a detached 2-car garage, while the attached townhomes will be 2-story, 1,490 square feet in floor area with 3-bedrooms, 2½ bathrooms and an attached 2-car garage. The following minimum building setbacks and separations are proposed:

Single Family Veranda Homes (with rear loaded detached garages)

Distance to ROW: 10 feet Min

Rear: 22 feet (edge of private street and/or alley pavement)

Garage setback from Public ROW: 15 feet

Side/Separations: 10 feet total

Attached Townhomes (with rear loaded attached garages)

Distance to ROW: 10 feet Min

Rear: 22 feet (edge of private street and/or alley pavement)

Side/Separations: 15 feet total

Single family detached homes within the platted subdivision portion of the project will include a mixture of ranch, 2-story and bi-level homes ranging in size between 1,400 – 2,400 square feet with 3-4 bedrooms, 2-3 bathrooms and an attached 2-car garage. The following minimum lot size and building setbacks are proposed:

Lot Size: 6,500 square feet/50 feet wide

Front: 25 feet (public street row)

Rear: 20 feet

Side: 5 feet each side

Apartment Units will range from 900 to 1,100 square feet each unit and include 1 or 2 bedroom floorplans. The following minimum setbacks and dimensions are proposed for apartment buildings:

Minimum distance to PUD boundary: 40'

Minimum distance to ROW: 10'

Building separation: 15'

Approximately 55,000 square feet of building space is proposed for mixed use in a 2 story building fronting on Hanna Lake Ave. Mixed-use building minimum setbacks are proposed as:

Front setback to ROW: 10'

Setback to PUD Boundary/adjacent property: 15'

Building Separation: 15'

Approximately 29,000 square feet of commercial building space is proposed for a 1-story structure fronting on 68th street. Commercial building minimum setbacks are proposed as:

Front setback to ROW: 10'

Setback to PUD Boundary/adjacent property: 15'

Building Separation: 15'

Vehicle Parking

Parking for the commercial development buildings on 68th St is proposed as 4 units per 1,000 GFA resulting in approximately 116 parking spaces.

Parking for the mixed use and attached multi-family area is proposed as shared. There are 114 spaces incorporated on the north side of the private road. There are 138 spaces incorporated on the south side.

For the rear load townhomes and platted lots, an attached 2-stall garage is incorporated along with a driveway that would permit parking for 2 additional cars. Up to 4 cars can be parked at each unit/lot.

The detached veranda homes incorporate a detached garage and a driveway that would permit parking for 2 additional cars. Up to 4 cars can be parked at each unit/lot.

Open Space/Amenities/Walkability

To offset the compact nature of the proposed PUD, there are plentiful open spaces in the form of pocket parks, community open spaces, courtyards and landscaped view lines to provide enhancements and a sense of pride in the community. Legend item #7 of the PUD plan identifies community oriented open spaces.

The area designated for storm water management is at a location that is not only necessary, but also provides for views of natural features for residents in townhomes and veranda homes. The proposed location of the storm water management yields minimal disruptions to existing adjacent property owners and retention of the existing character of the community. Due to the location of the basin, the only proposed improvement along Dutton Ave is one public street connection.

Consistent with the recently approved Thornapple Farms subdivision project to the south, 5-foot-wide concrete sidewalks will be installed along both sides of the interior public/private streets and along the Hanna Lake Avenue and Dutton Avenue frontages. Pedestrian connectivity is enhanced with a secondary sidewalk connection to 68th St west of the commercial development and adjacent to the storm water basin. This network of sidewalks will provide a healthy and walkable PUD project which will directly connect each residential unit to these various park/playground amenities and integrate the Dutton Center PUD project with the Thornapple Farms amenities.

Access/Storm Water Management/Utilities

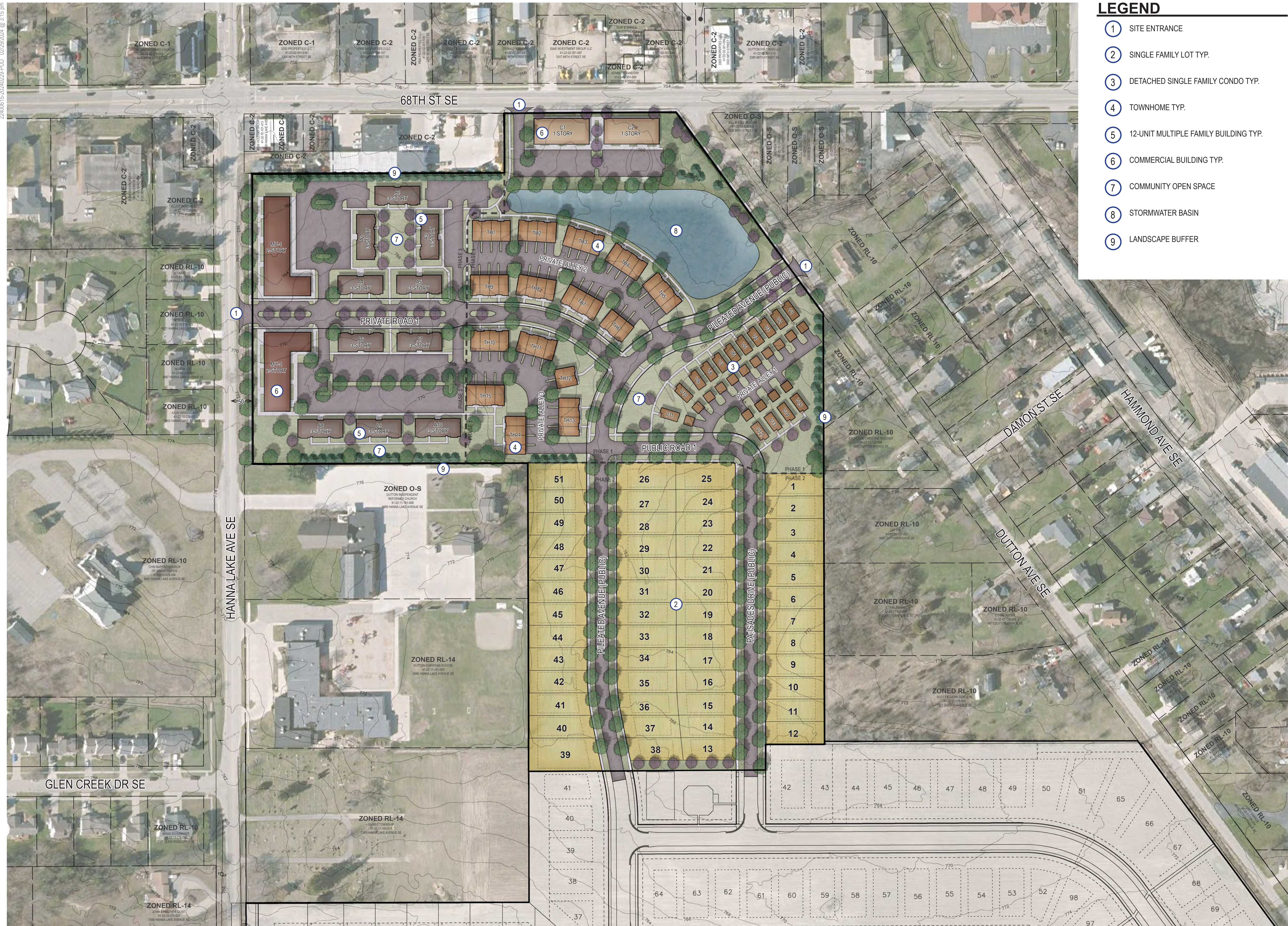
As stated previously, the Dutton Center PUD will be accessed through a private street from Hanna Lake Avenue and from extension/interconnection of the two public street stubs (Pileated Avenue and Palisades Drive) located within Phase 3 of the Thornapple Farms platted subdivision, to the south. All public streets will be designed and constructed in accordance with county standards. Private streets and alleys will be constructed in a manner approved by the township.

Stormwater from the project will be collected and conveyed to a detention basin located in the northeast portion of the PUD that is proposed to be under the jurisdiction of the Kent County Drain Commission. This location is the natural low area for the property which currently acts as a concentrated discharge point to the county drain located along Dutton Avenue. This location was selected as it aligns with the desires of the Drain Commission and engineering best practices for storm water management for minimal disruptions to the pre-development flows. The new State of Michigan and Kent County Drain Commission requirements for managing storm water require increased resilience and storage requirements; subsequently generating a much larger detention basin footprint. The size and scale of the basin has been studied to identify other

alternatives that would yield a smaller footprint. However, the basin as presented is the most feasible and prudent choice as it stores the highest volume of storm water in the smallest possible area. The entire Dutton Center PUD will be served by municipal water, sanitary sewer, and underground franchise utilities.

Residential Community Organization and Maintenance

The individual veranda homes and attached townhomes within the leased portion of the PUD (Phase 1) will be professionally managed by a property management company, similar to an apartment or townhome project. The traditional platted subdivision portion of the PUD (Phases 2 and 3) will be governed by plat restrictions and bylaws. An umbrella Homeowner's Association (HOA) will be established to oversee the amenities for the Thornapple Farms Plat (178 lots), Dutton Center Plat (51 lots). The scope of authority includes maintenance of the entrance statements, mail delivery boxes, open space/amenity areas and the storm water management area, and authority over architectural review, community restrictions enforcement, and financial management. Each homeowner will pay a modest annual fee for the operation of the HOA.



LEGEND

- 1 SITE ENTRANCE
- 2 SINGLE FAMILY LOT TYP.
- 3 DETACHED SINGLE FAMILY CONDO TYP.
- 4 TOWNHOME TYP.
- 5 12-UNIT MULTIPLE FAMILY BUILDING TYP.
- 6 COMMERCIAL BUILDING TYP.
- 7 COMMUNITY OPEN SPACE
- 8 STORMWATER BASIN
- 9 LANDSCAPE BUFFER

NOTES

Site Location:	3316 68th Street SE Caledonia, MI
Gross Site Area	= 30.82 ac.
Net Site Area (exclusive of ex. and prop. R.O.W along 68th St., Dutton Ave., and Hanna Lake Ave.)	= 29.23 ac.
Unit Total	= 243 dwellings (up to 273*)
Single Family Lots	= 51
Single Family Veranda Homes	= 15
Townhomes	= 57 (15 buildings)
Multiple Family Dwellings	= 120 (10 buildings)
Office / Commercial Area	= 14,500 sq.ft. (2 buildings)
Mixed Use Building Area	= 27,750 sq.ft. per floor
Possible Second Floor Flex Area Dwellings	= 30 *
Proposed Density	= 9.34 units per ac.

PROPOSED PUD SITE REGULATING STANDARDS

SINGLE FAMILY LOTS [LOTS 1 - 51]
1) MINIMUM LOT WIDTH AT FRONT YARD SETBACK = 50 FT.
2) MINIMUM LOT AREA = 5,800 SQ. FT.
3) MAXIMUM BUILDING HEIGHT = 35 FT. OR 2.5 STORIES, WHICHEVER IS LESS
4) SETBACKS:
FRONT YARD = 25 FT.; 15 FT. FOR SECONDARY FRONT YARD ON CORNER LOTS
SIDE YARD = 5 FT.
REAR YARD = 20 FT.

SINGLE FAMILY VERANDA HOMES [BUILDINGS V1 - V15]
1) MAXIMUM BUILDING HEIGHT = 35 FT. OR 2.5 STORIES, WHICHEVER IS LESS
2) MINIMUM BUILDING TO BUILDING SEPARATION [FOUNDATION WALL TO FOUNDATION WALL] = 10 FT.
3) MINIMUM DISTANCE FROM BUILDING FOUNDATION WALL TO ALLEY = 22 FT.
4) MINIMUM DISTANCE TO ADJACENT RIGHT-OF-WAY = 10 FT.

TOWNHOMES [BUILDINGS TH1 - TH15]
1) MAXIMUM BUILDING HEIGHT = 35 FT. OR 2.5 STORIES, WHICHEVER IS LESS
2) MINIMUM BUILDING TO BUILDING SEPARATION [FOUNDATION WALL TO FOUNDATION WALL] = 15 FT.
3) MINIMUM DISTANCE FROM BUILDING FOUNDATION WALL TO ALLEY = 22 FT.
4) MINIMUM DISTANCE TO ADJACENT RIGHT-OF-WAY = 10 FT.
5) MINIMUM DISTANCE FROM FOUNDATION TO PUD BOUNDARY = 20 FT.

MULTIPLE FAMILY BUILDINGS A1 - A10]
1) MAXIMUM BUILDING HEIGHT = 50 FT. OR 3.5 STORIES, WHICHEVER IS LESS
2) MINIMUM BUILDING TO BUILDING SEPARATION [FOUNDATION WALL TO FOUNDATION WALL] = 15 FT.
3) MINIMUM DISTANCE TO ADJACENT RIGHT-OF-WAY = 10 FT.
4) MINIMUM DISTANCE TO PUD BOUNDARY = 40 FT.
5) MINIMUM DWELLING UNIT SIZE = 820 SQ. FT.

MIXED USE BUILDINGS [MU1 - MU2]
1) MAXIMUM BUILDING HEIGHT = 50 FT. OR 2.5 STORIES, WHICHEVER IS LESS
2) MINIMUM BUILDING TO BUILDING SEPARATION [FOUNDATION WALL TO FOUNDATION WALL] = 15 FT.
3) MINIMUM DISTANCE TO ADJACENT RIGHT-OF-WAY = 10 FT.
4) MINIMUM DWELLING UNIT SIZE = 820 SQ. FT.
5) ALLOWABLE USES = SECOND FLOOR MULTIPLE FAMILY DWELLINGS AND PERMITTED USES WITHIN THE OFFICE SERVICE (OS) AND NEIGHBORHOOD COMMERCIAL (NC) DISTRICTS

OFFICE / COMMERCIAL BUILDINGS [C1 - C2]
1) MAXIMUM BUILDING HEIGHT = 25 FT. OR 1 STORIES, WHICHEVER IS LESS
2) MINIMUM BUILDING TO BUILDING SEPARATION [FOUNDATION WALL TO FOUNDATION WALL] = 15 FT.
3) MINIMUM DISTANCE TO ADJACENT RIGHT-OF-WAY = 10 FT.
4) MINIMUM DISTANCE TO PUD BOUNDARY = 15 FT.
5) ALLOWABLE USES = PERMITTED USES WITHIN THE OFFICE SERVICE (OS) AND NEIGHBORHOOD COMMERCIAL (NC) DISTRICTS

LEGAL DESCRIPTION

PART OF THE NW 1/4 OF SECTION 11, T5N, R11W, GAINES TOWNSHIP, KENT COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NW CORNER OF SAID SECTION 11; THENCE N89°52'04"E 610.50 FEET ALONG THE NORTH LINE OF SAID NW 1/4 TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE S00°09'34"E 165.00 FEET; THENCE S89°52'04"W 610.50 FEET TO THE WEST LINE OF SAID NW 1/4; THENCE S00°09'34"E 643.41 FEET ALONG SAID WEST LINE; THENCE N89°52'04"E 660.00 FEET; THENCE S00°09'34"E 682.44 FEET; THENCE N89°50'26"E 162.77 FEET; THENCE S77°36'32"E 72.12 FEET; THENCE N89°24'24"E 226.47 FEET; THENCE N89°51'03"E 66.00 FEET; THENCE N00°08'57"W 70.38 FEET; THENCE N89°24'24"E 130.00 FEET TO THE SW CORNER OF C. H. DEMING'S ADDITION TO DUTTON (AS RECORDED IN LIBER 20 OF PLATS ON PAGE 35, KENT COUNTY RECORDS); THENCE N00°08'57"W 1010.85 FEET ALONG THE WEST LINE OF SAID C. H. DEMING'S ADDITION TO DUTTON TO THE CENTERLINE OF DUTTON AVENUE (66 FOOT WIDE); THENCE N36°22'34"W 523.59 FEET ALONG SAID CENTERLINE TO THE NORTH LINE OF SAID NW 1/4; THENCE S89°52'04"W 395.97 FEET ALONG SAID NORTH LINE TO THE PLACE OF BEGINNING.



integrity 1610

1,607 SF

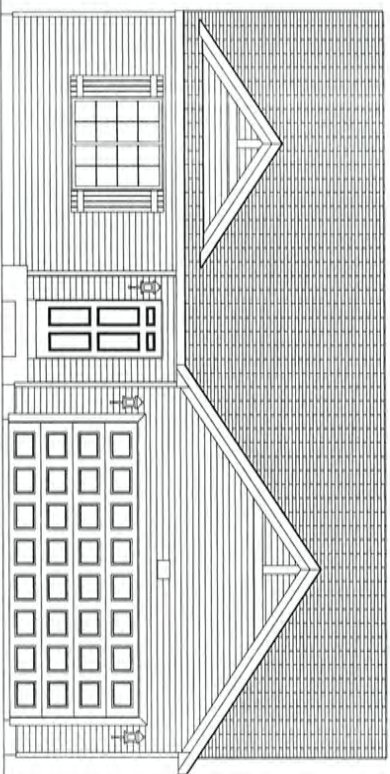
3-5 bedrooms

2-3 bathrooms

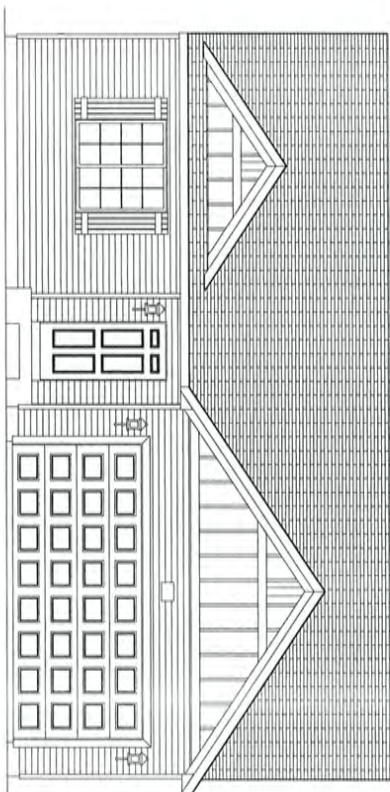
2-3 car attached garage



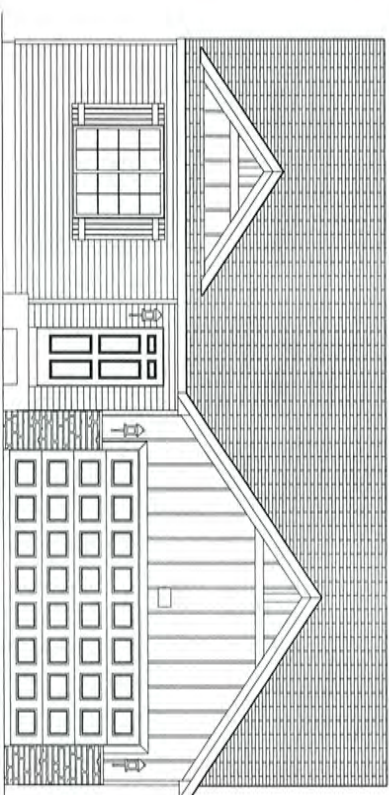
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Elevation A1

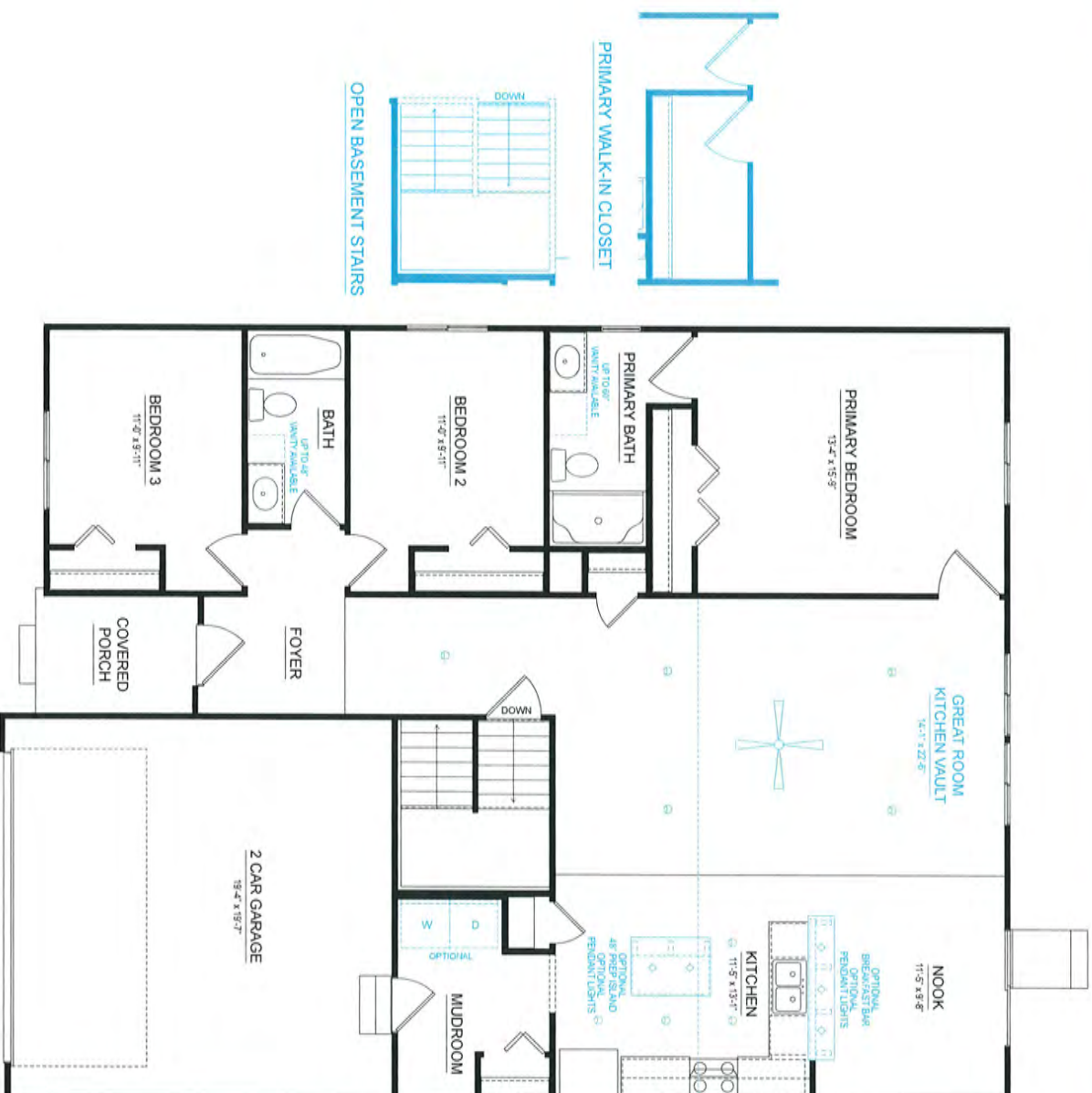


Elevation A2



Elevation A3

Elevation A



FIRST FLOOR

integrity 1750

1,736 SF

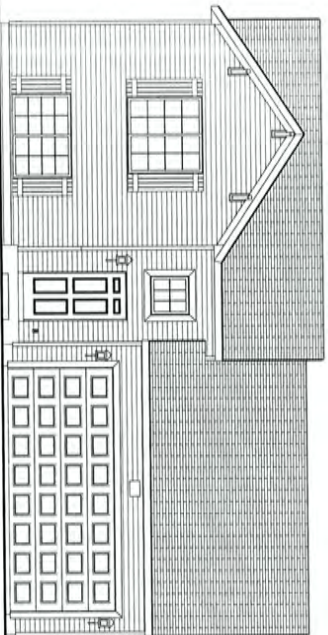
3-4 bedrooms

2-2.5 bathrooms

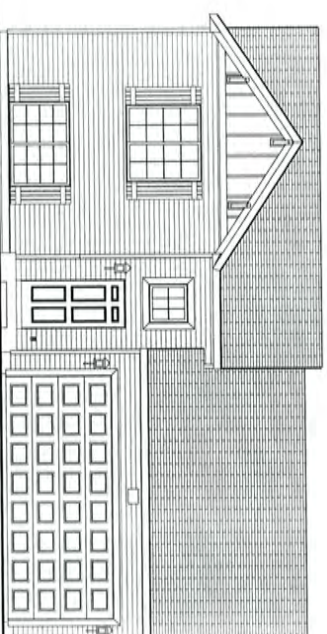
2 car attached garage



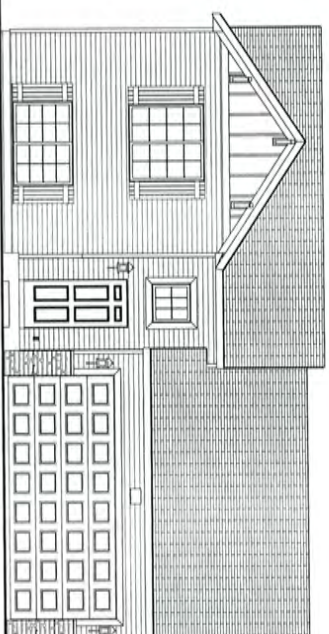
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Elevation A1

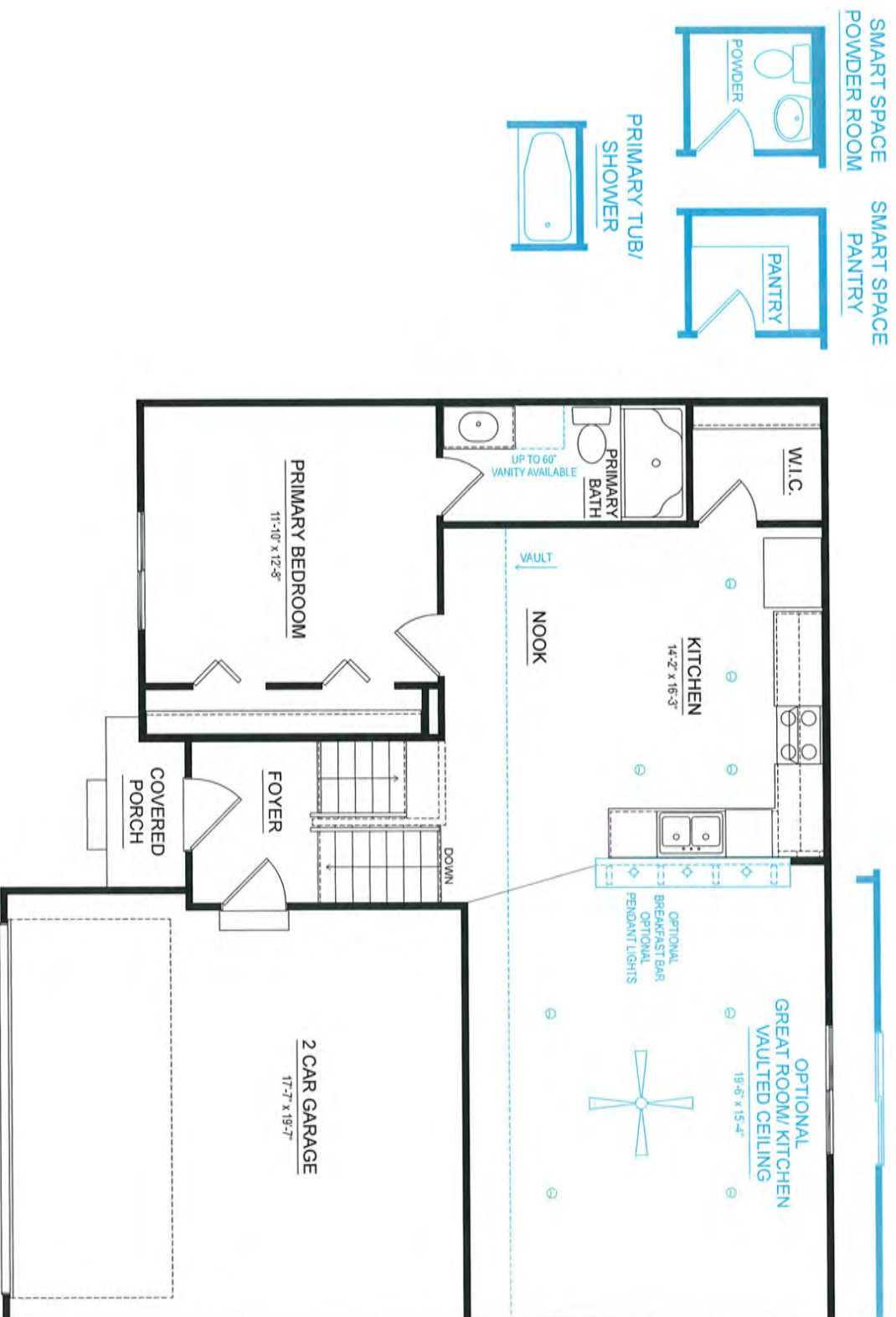


Elevation A2



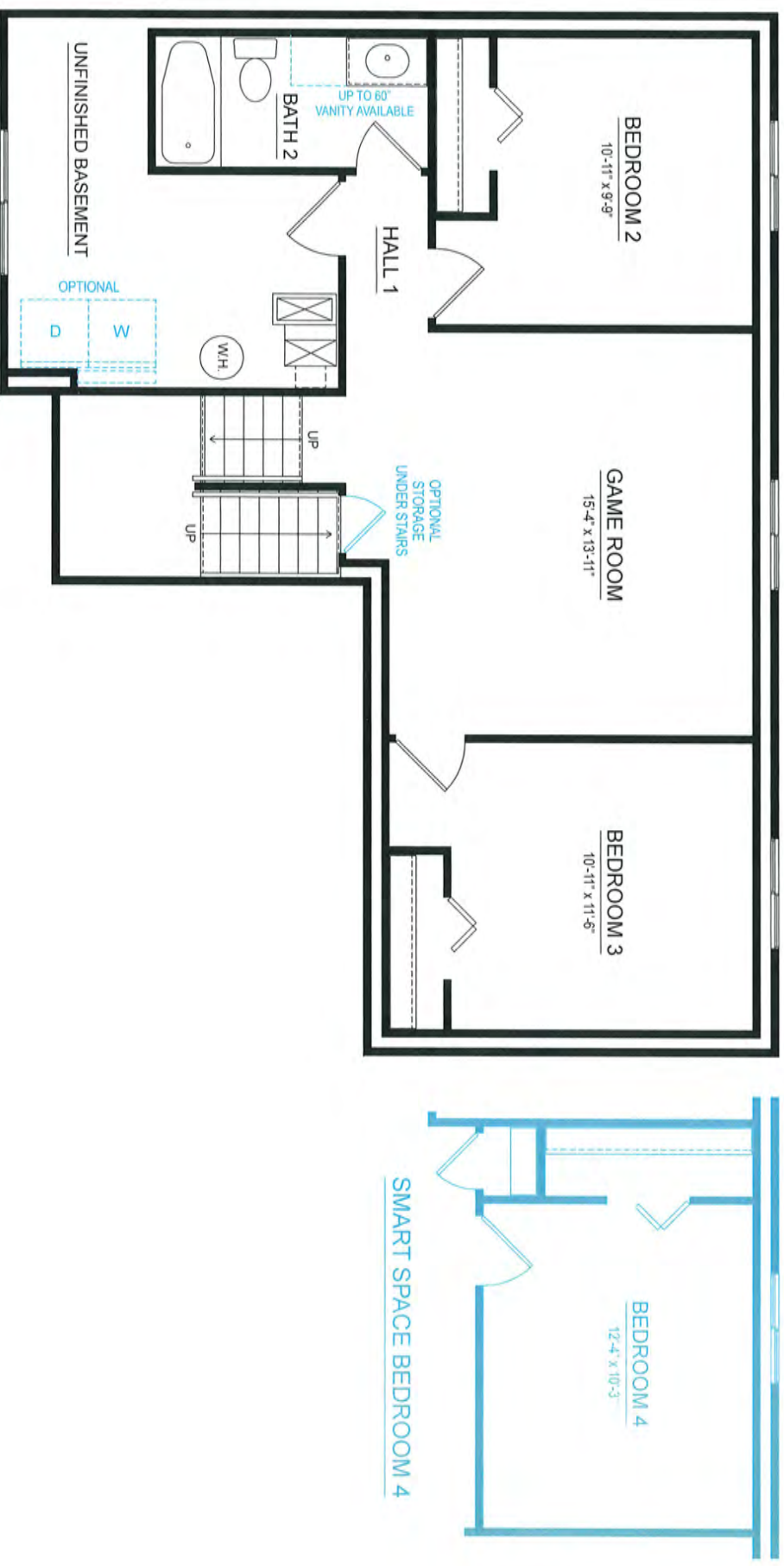
Elevation A3

Elevation A



FIRST FLOOR

WALKOUT PATIO DOOR



LOWER LEVEL

integrity 1810

1,822 SF

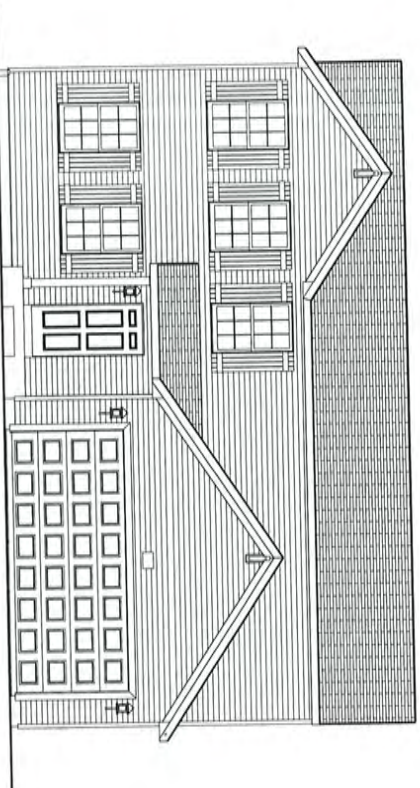
4 bedrooms

2.5-3.5 bathrooms

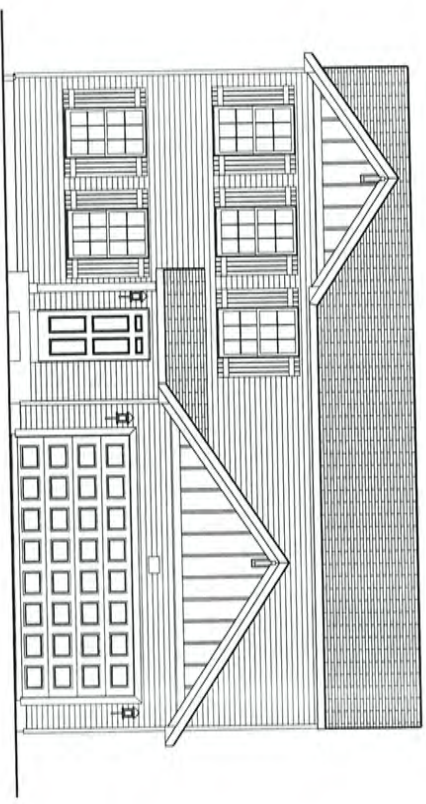
2-3 car attached garage



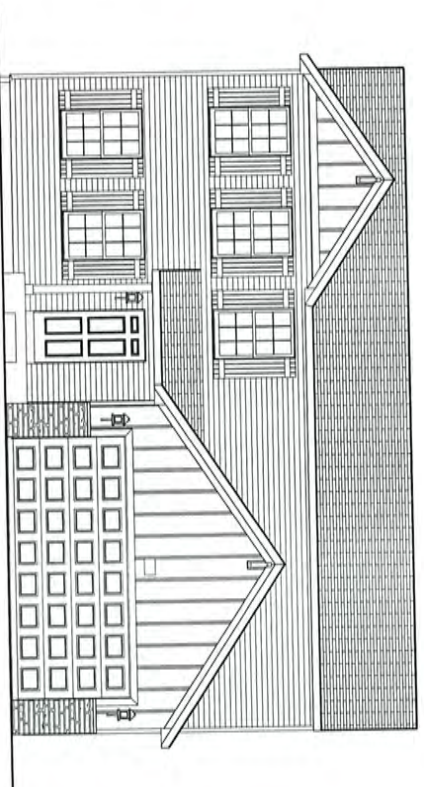
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Elevation A1

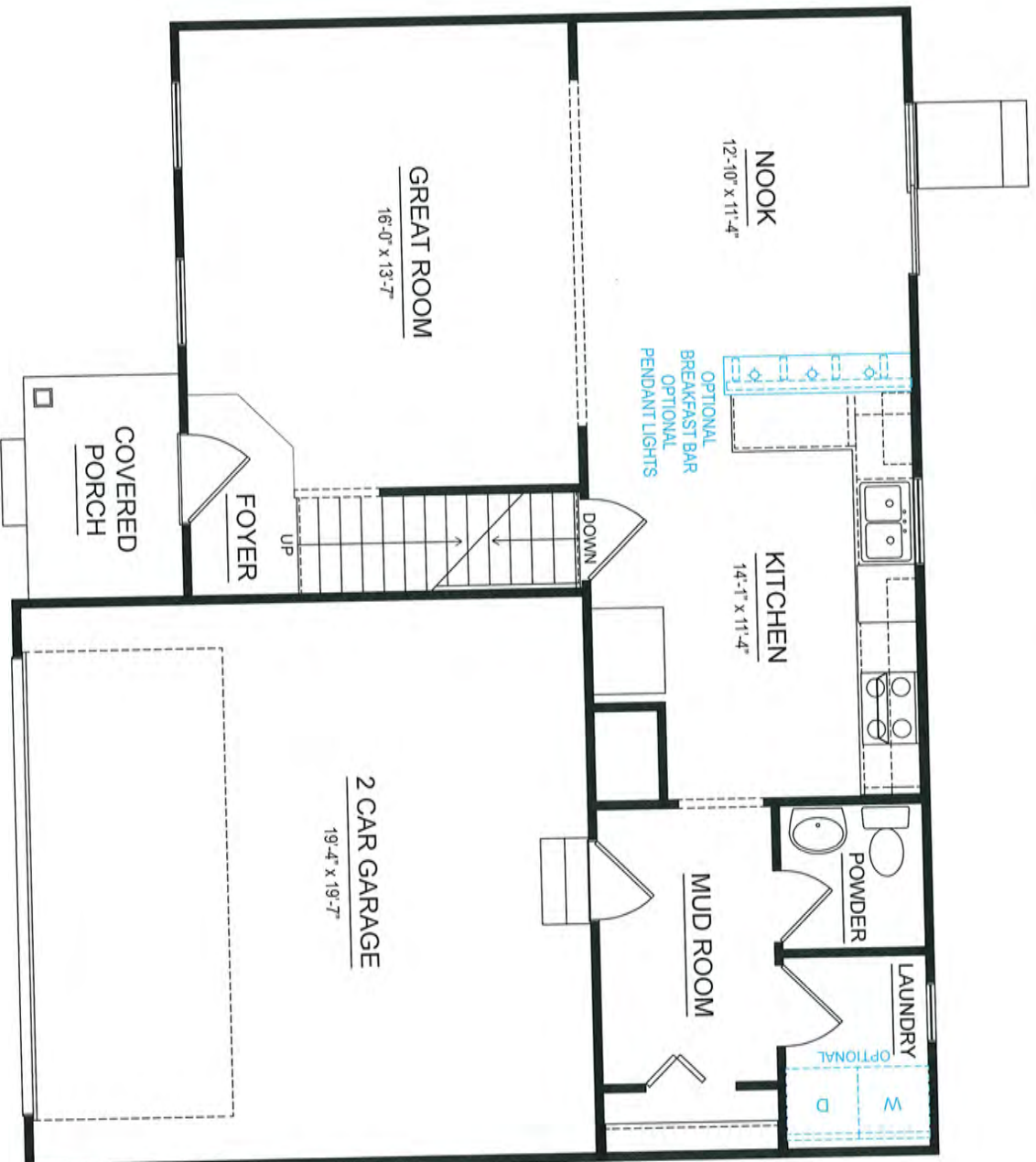


Elevation A2

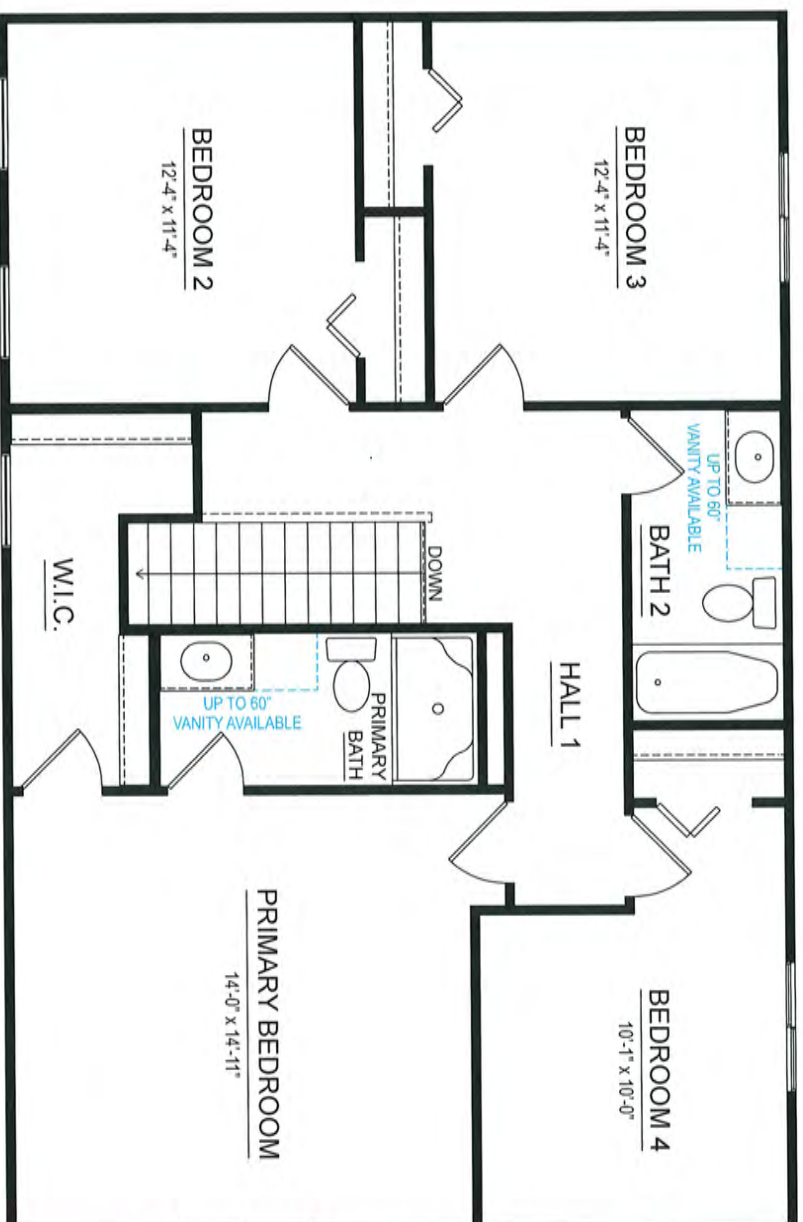


Elevation A3

Elevation A



FIRST FLOOR



SECOND FLOOR

integrity 1830

1,830 SF

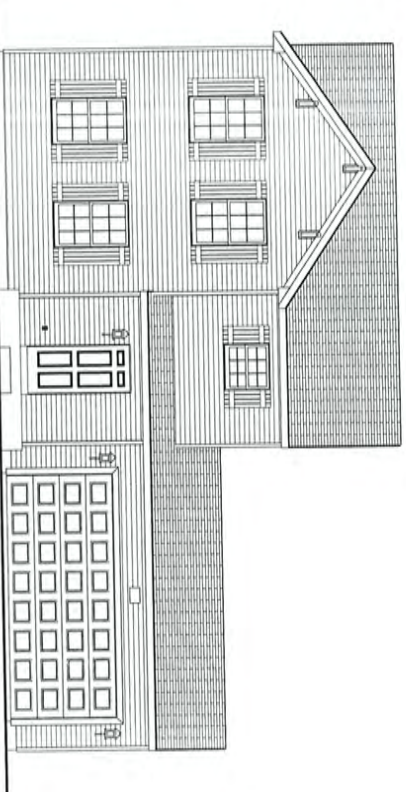
4-5 bedrooms

2.5-3.5 bathrooms

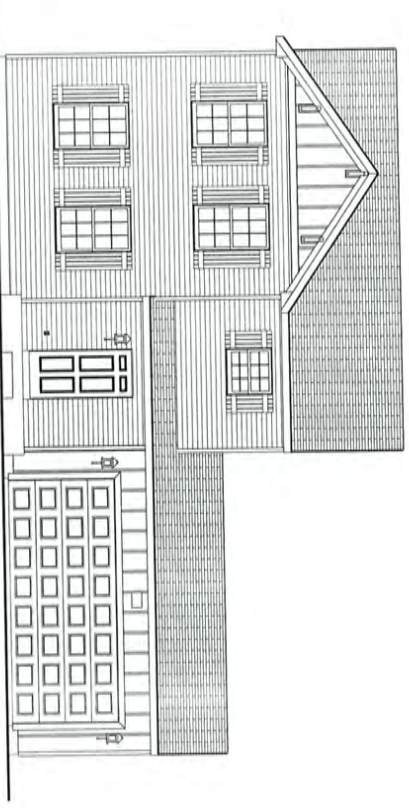
2-3 car attached garage



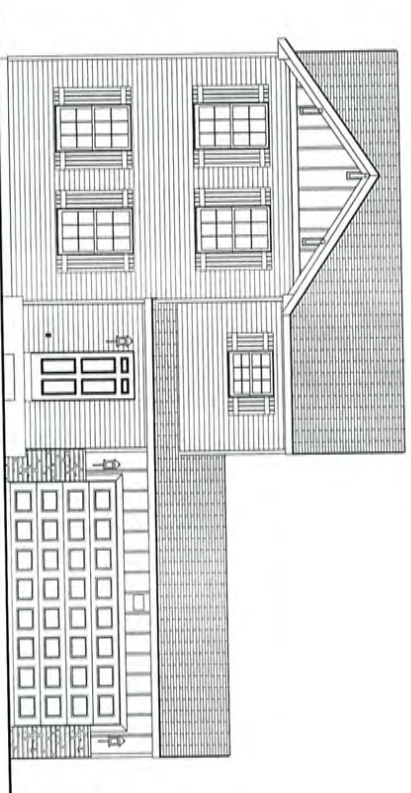
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Elevation A1

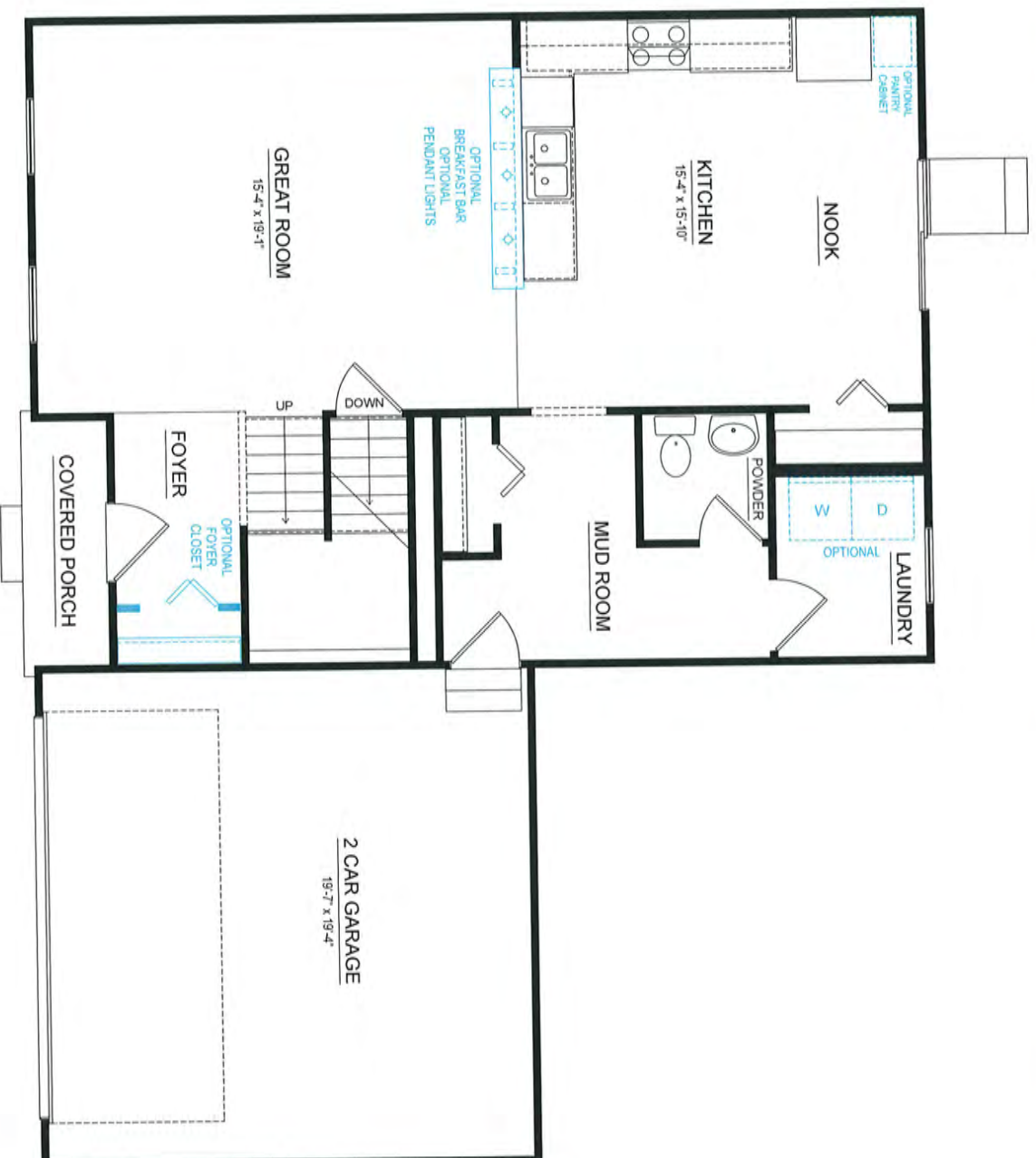


Elevation A2

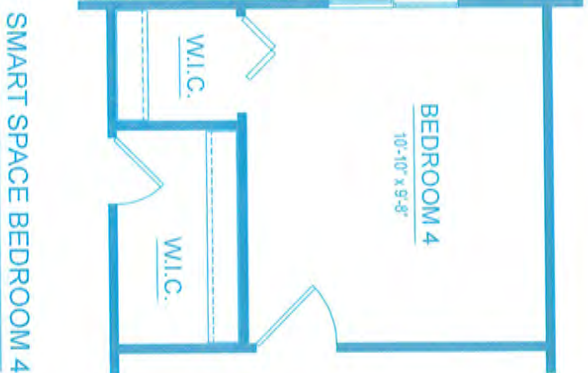


Elevation A3

Elevation A



FIRST FLOOR



SECOND FLOOR

integrity 2060

2,060 SF

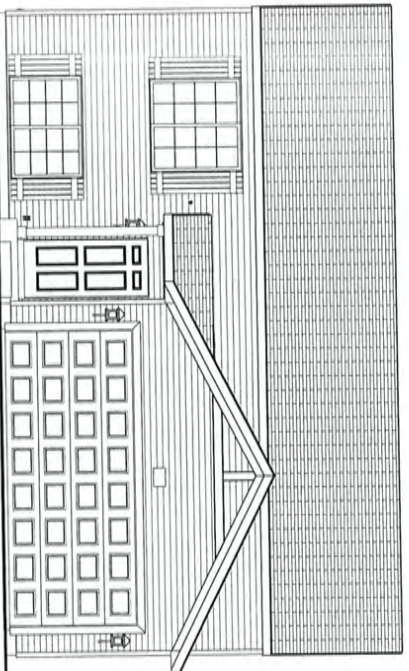
3-4 bedrooms

2-2.5 bathrooms

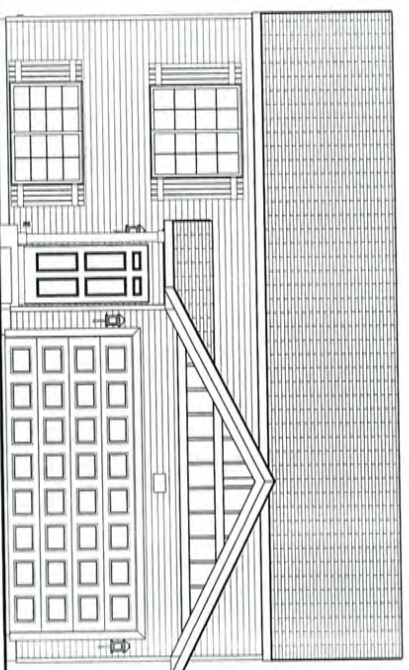
2 car attached garage



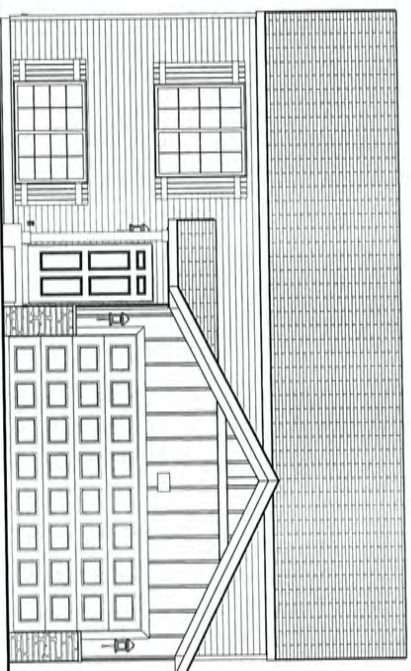
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Elevation A1



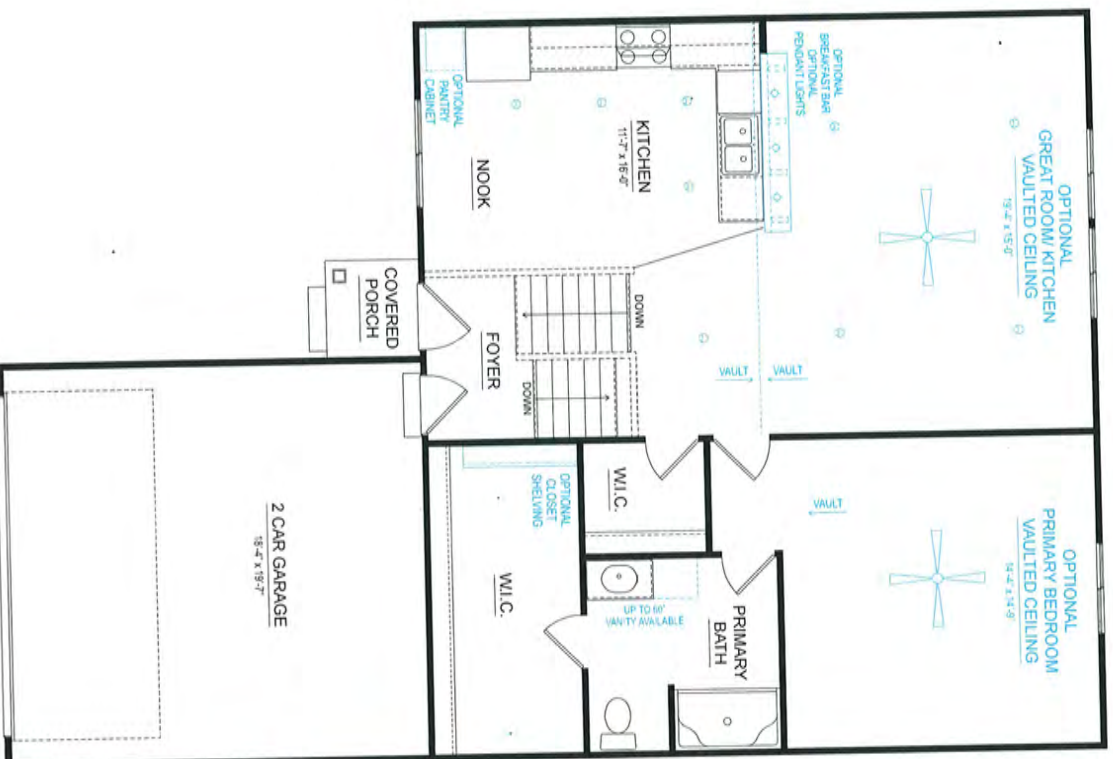
Elevation A2



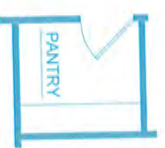
Elevation A3

Elevation A

PATIO DOOR



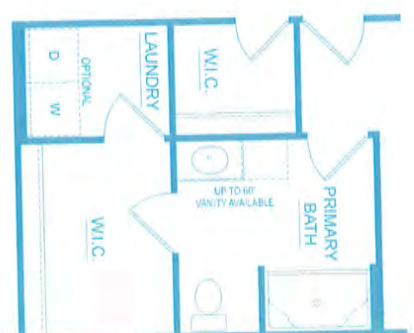
PRIMARY TUB/
SHOWER



SMART SPACE
PANTRY

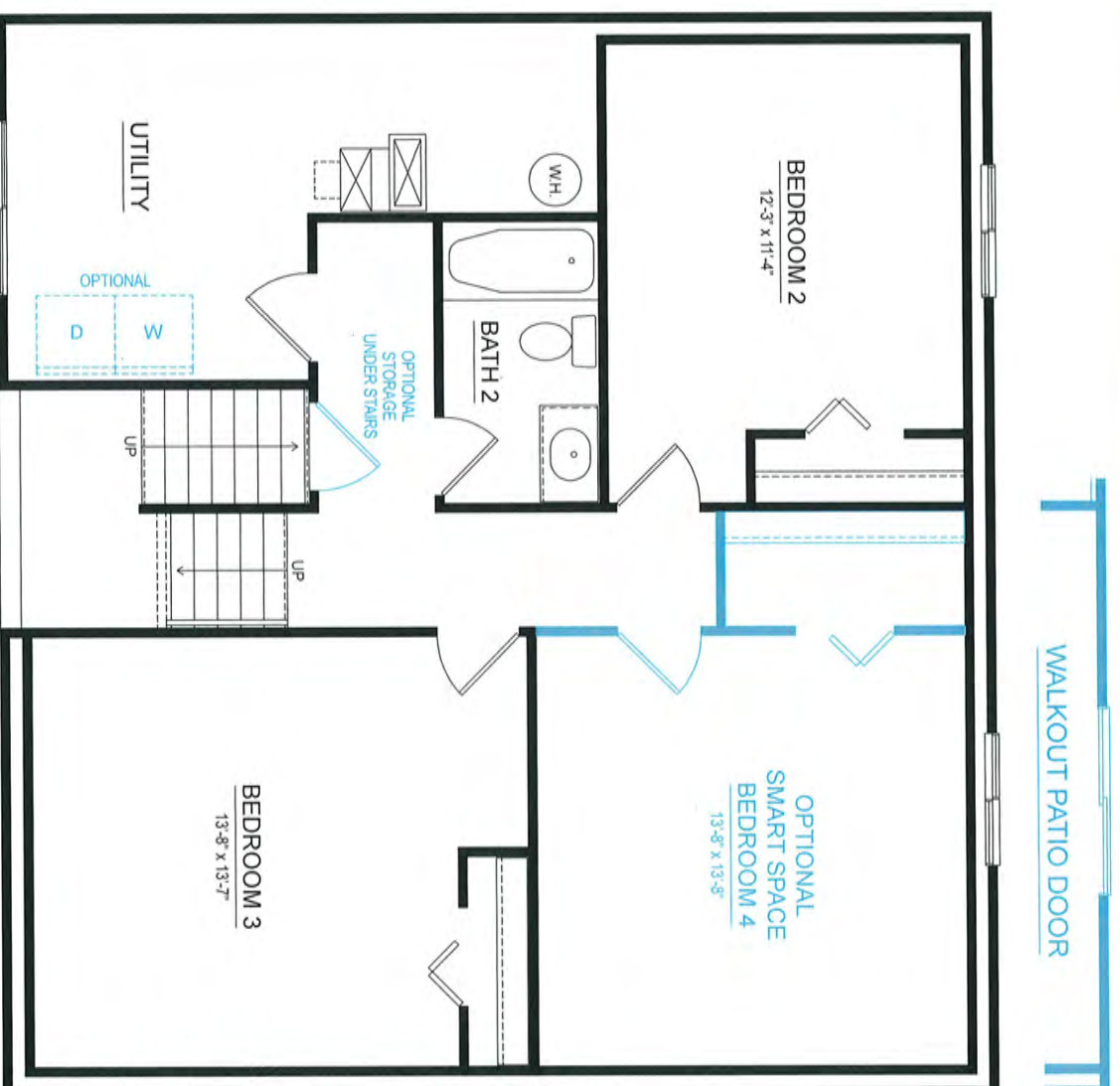


SMART SPACE
POWDER ROOM



MAIN FLOOR
LAUNDRY

FIRST FLOOR



LOWER LEVEL

integrity 2280

2,278 SF

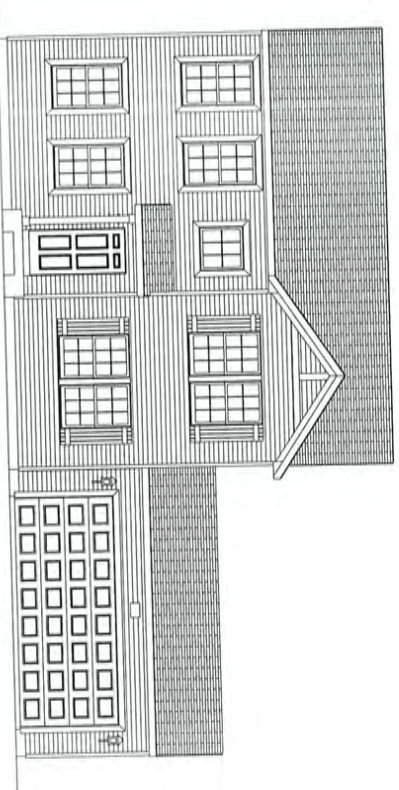
3-6 bedrooms

2.5-4 bathrooms

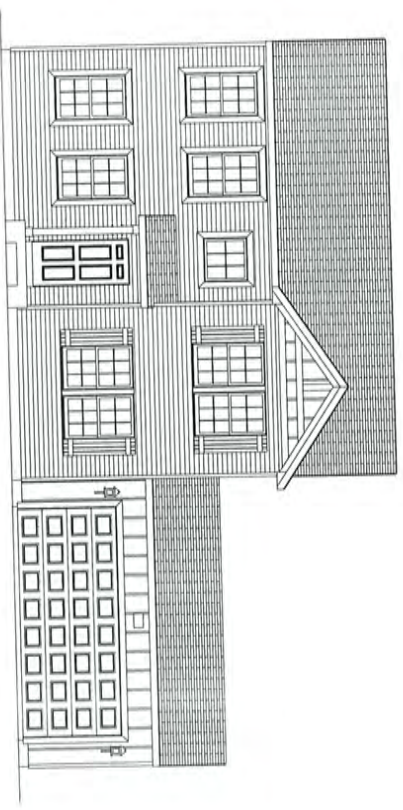
2-3 car attached garage



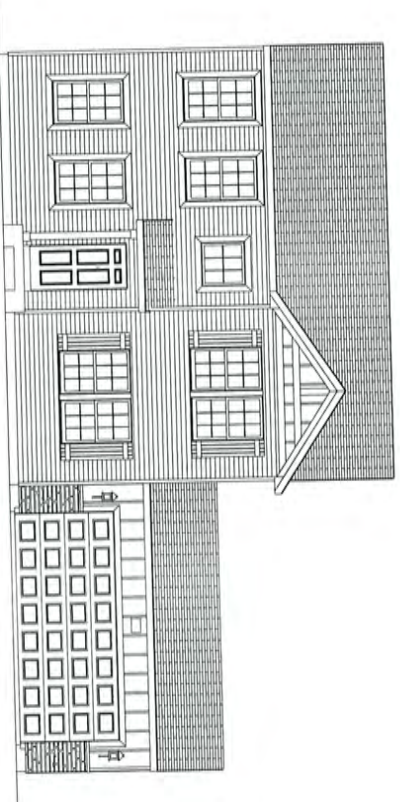
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Elevation A1



Elevation A2



Elevation A3

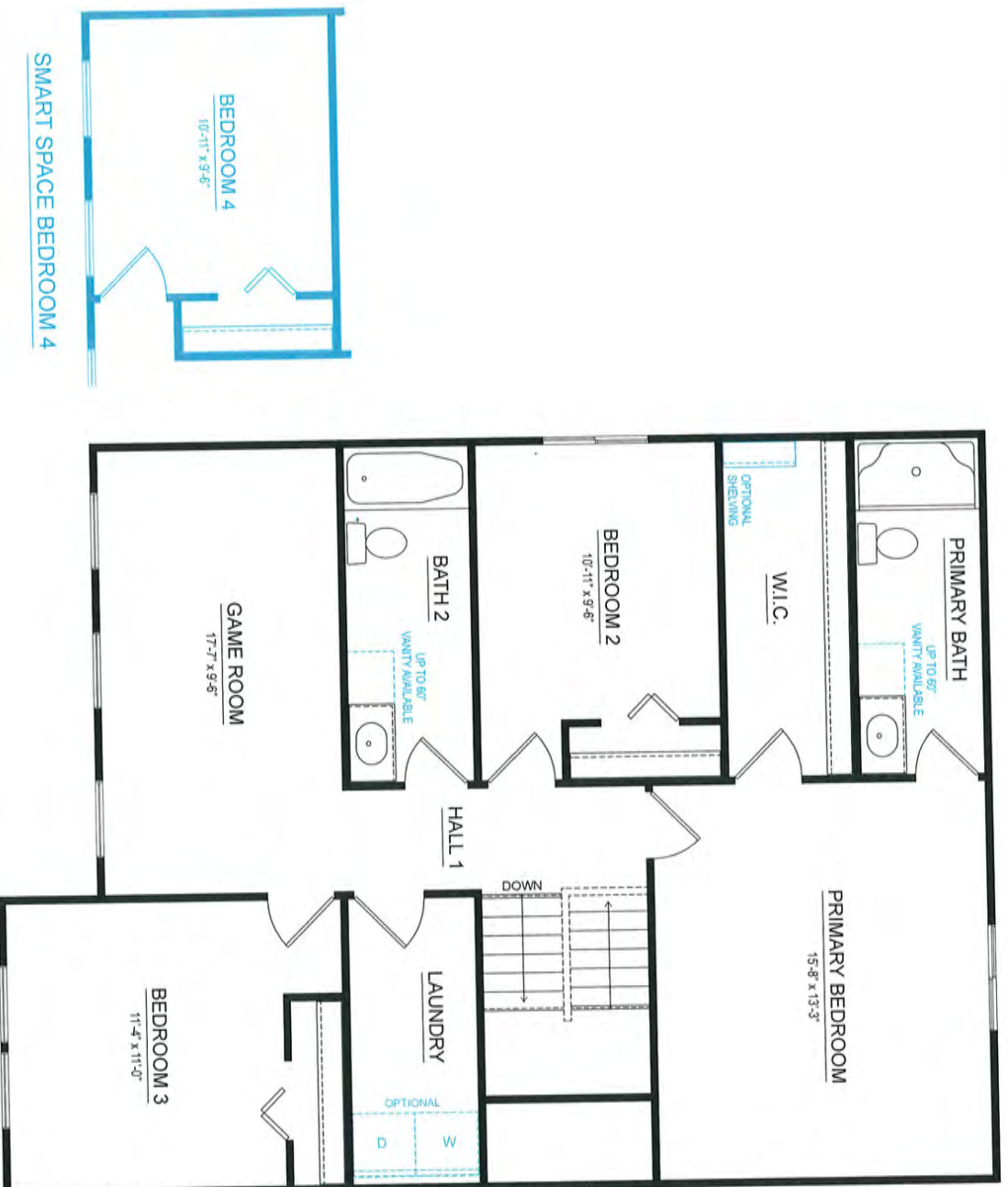
Elevation A



FIRST FLOOR

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SECOND FLOOR

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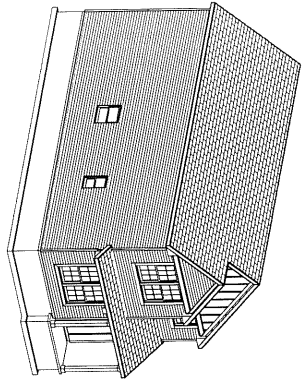
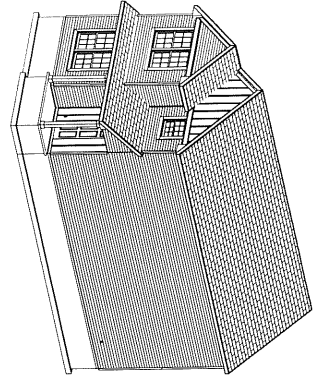
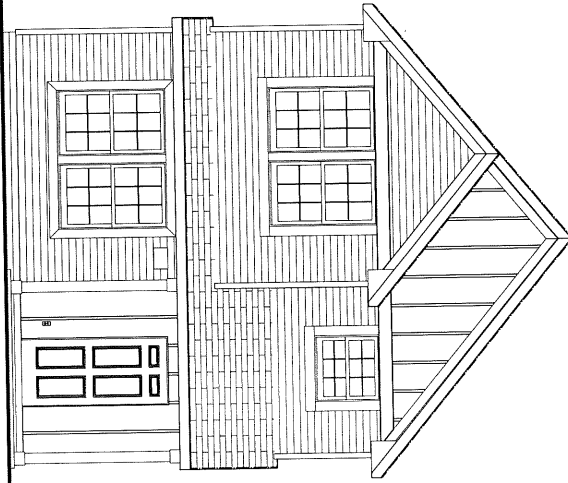
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Integrity 1640S

- **Single Family Terrace Home**
- **1,640 square feet, 2-story**
- **3 bedrooms/2½ bathrooms**
- **Detached garage, rear load**

FRONT ELEVATION A2

SCALE: 1/4"=1'-0"



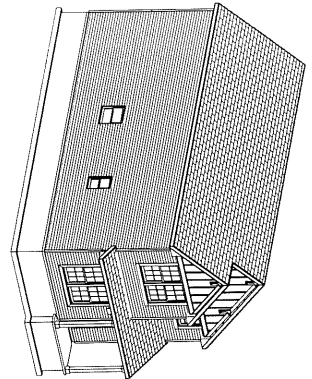
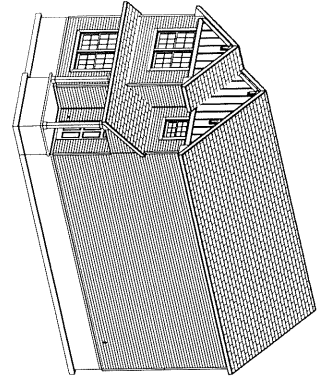
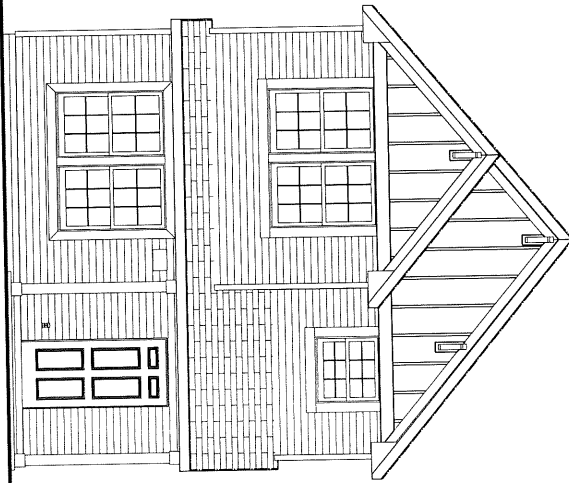
A-01	i1640S	PRINT DATE: 08/03/2023
	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

ALLEN EDWIN HOMES
2186 E. Centre Street Portage, MI 49002 (269) 321-2600 www.allenedwin.com

ELEVATION A2		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	8.0a			

FRONT ELEVATION B2

SCALE: 1/4"=1'-0"



i1640S

FOR:
Allen Edwin Homes
LOT #:
LOCATION:

PRINT DATE:
08/03/2023

ALLEN EDWIN HOMES

2186 E. Centre Street
Portage, MI 49002
(269) 321-2600
www.allenedwin.com

ELEVATION B2
GARAGE RIGHT

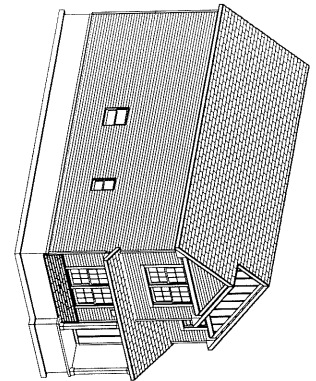
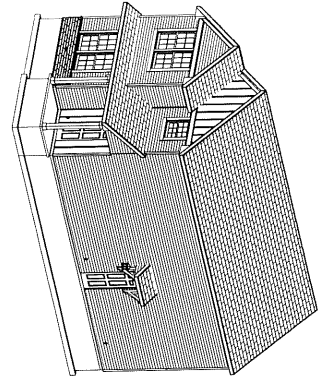
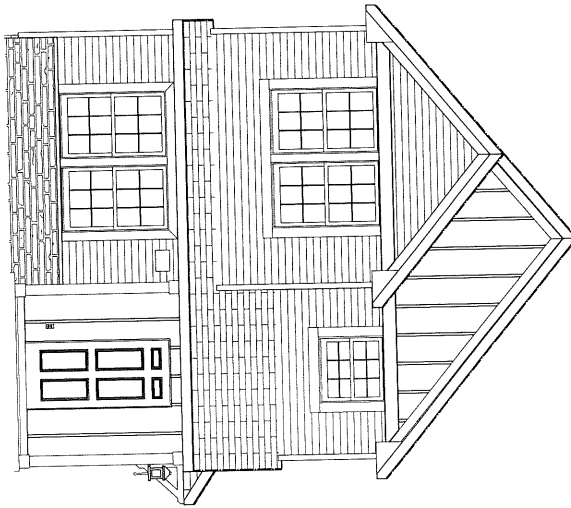
REVISION 8.0a

REV. NO.	DATE	REMARKS

A-01

FRONT ELEVATION

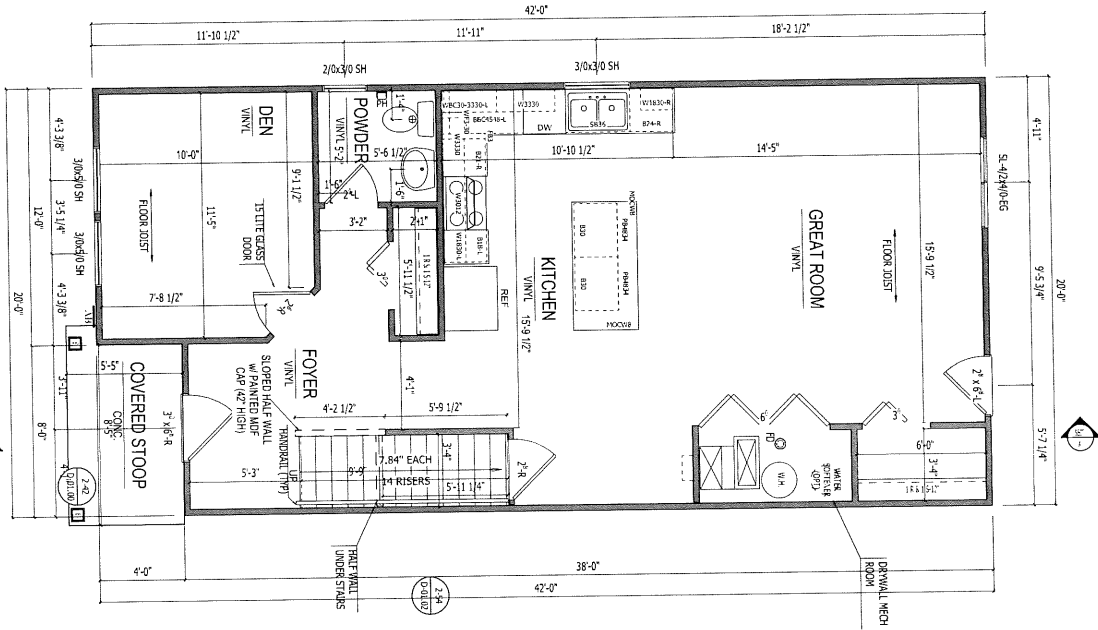
SCALE: 1/4"=1'-0"



A-01	1640S		PRINT DATE: 12/15/2023
	FOR: Allen Edwin Homes		
	LOT #:		
	LOCATION:		

ALLEN EDWIN HOMES	
2186 E. Centre Street Portage, MI 49002 (269) 321-2600 www.allenedwin.com	

ELEVATION A2		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	8.0a			



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- GENERAL FLOOR PLAN NOTES:
1. ALL INTERIOR DOOR SWINGS TO BE SHOWN ON THIS PLAN.
 2. ALL EXTERIOR DOOR SWINGS TO BE SHOWN ON THIS PLAN.
 3. ALL DOOR SIZES TO BE SHOWN ON THIS PLAN.
 4. FLOORING TO BE SHOWN ON THIS PLAN.
 5. FLOORING TO BE SHOWN ON THIS PLAN.
 6. FLOORING TO BE SHOWN ON THIS PLAN.
 7. FLOORING TO BE SHOWN ON THIS PLAN.
 8. FLOORING TO BE SHOWN ON THIS PLAN.
 9. FLOORING TO BE SHOWN ON THIS PLAN.
 10. FLOORING TO BE SHOWN ON THIS PLAN.

ALLEN EDWIN HOMES

2186 E. Centre Street
Portage, MI 49002
(269) 321-2600
www.allenedwin.com

ELEVATION A1
GARAGE RIGHT

REVISION 8.0a

REV. NO. DATE REMARKS

i1640S

FOR:
Allen Edwin Homes

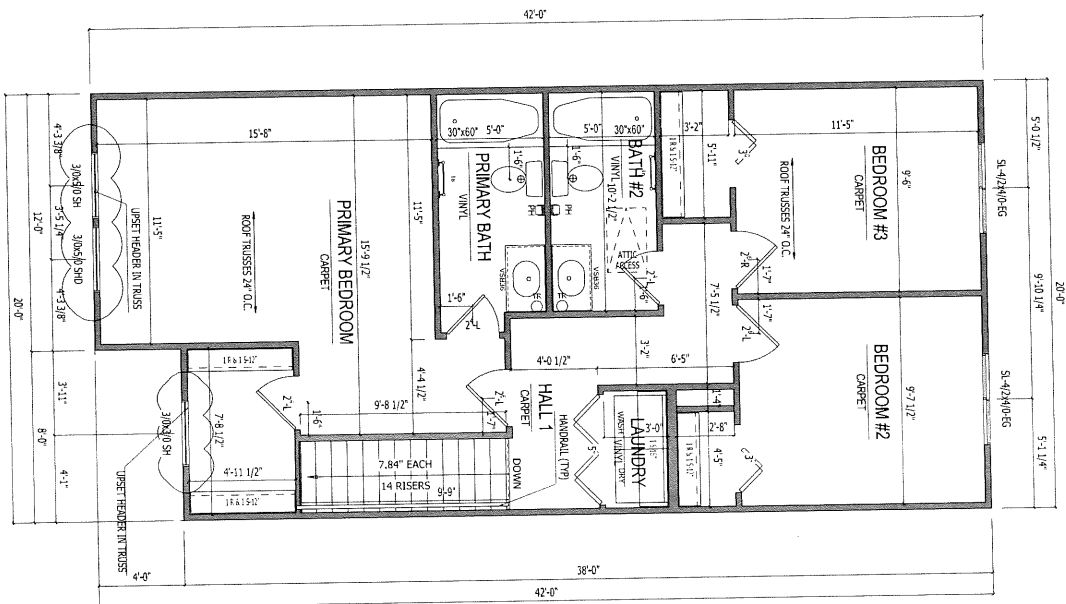
LOT #:

LOCATION:

PRINT DATE
08/03/2023

A-07

SCALE: 1/4"=1'-0"

[illegible]

i1640S

FOR:
Allen Edwin Homes
LOT #:
LOCATION:

PRINT DATE: 08/03/2023

ALLEN EDWIN HOMES

2186 E. Centre Street
Portage, MI 49002
(269) 321-2600
www.allenedwin.com

ELEVATION A1
GARAGE RIGHT

REVISION	8.0a
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REV NO	DATE
--------	------

DATE _____

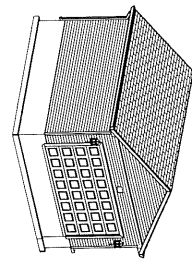
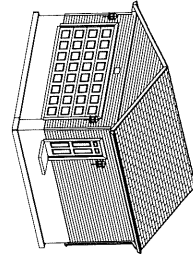
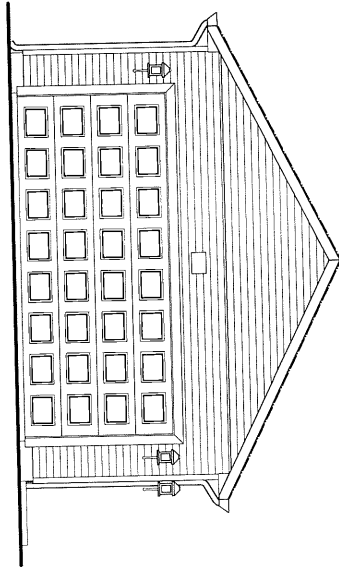
DATE _____

REMARKS

A-08

FRONT ELEVATION DETACHED GARAGE

SCALE: 1/4"=1'-0"



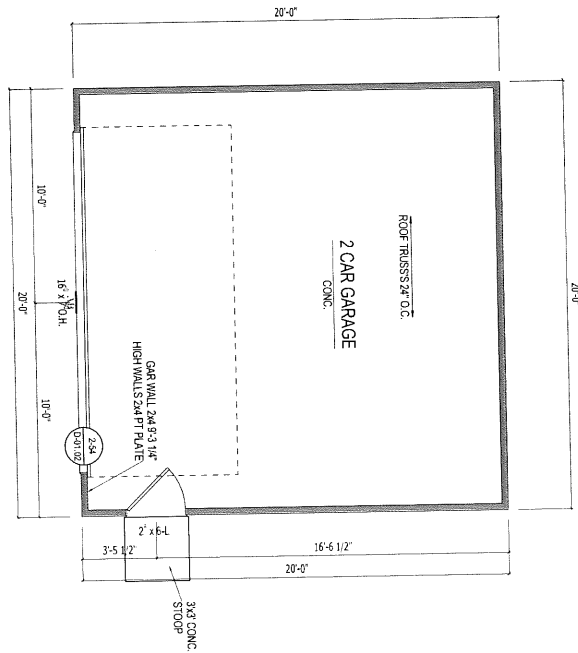
A-01	20x20 GARAGE		PRINT DATE 08/03/2023
	FOR:		
	LOT #:		
	LOCATION:		

ALLEN EDWIN HOMES	
2186 E. Centre Street Portage, MI 49002 (269) 321-2600 www.allenedwin.com	

ELEVATION A1		REV. NO.	DATE	REMARKS
GARAGE LEFT				
REVISION	8.0a			

FIRST FLOOR PLAN DETACHED GARAGE

SCALE: 1/4"=1'-0"



- GENERAL FLOOR PLAN NOTES
1. ALL INTERIOR NON-LOAD BEARING WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
 2. WINDOWS TO BE 1/2" SINGLE-HUNG, SIZE AS INDICATED BY NUMBER.
 3. DIMENSIONS ARE FROM FACE OF STUDS, BEARING ABOVE WINDOWS.
 4. PROVIDE BEARING ABOVE WINDOWS.
 5. PROVIDE EXTRA STUDS AS INDICATED AT ALL BEARING LOCATIONS.
 6. FLOOR FINISHES SHALL BE 1/2" GYPSUM BOARD ON TOP OF JOISTS.
 7. PROVIDE DOUBLE CROWN JOIST BRACES AND BRACKET.
 8. SHUTTER EXTERIOR DOORS & HT. DOORS.
 9. 12" ABOVE SHUTTER.
 10. 18" O.C. STUDS AT KITCHEN WALLS w/ CABINETS.

20x20 GARAGE

FOR:
LOT #:
LOCATION:

PRINT DATE
08/03/2023

ALLEN EDWIN HOMES

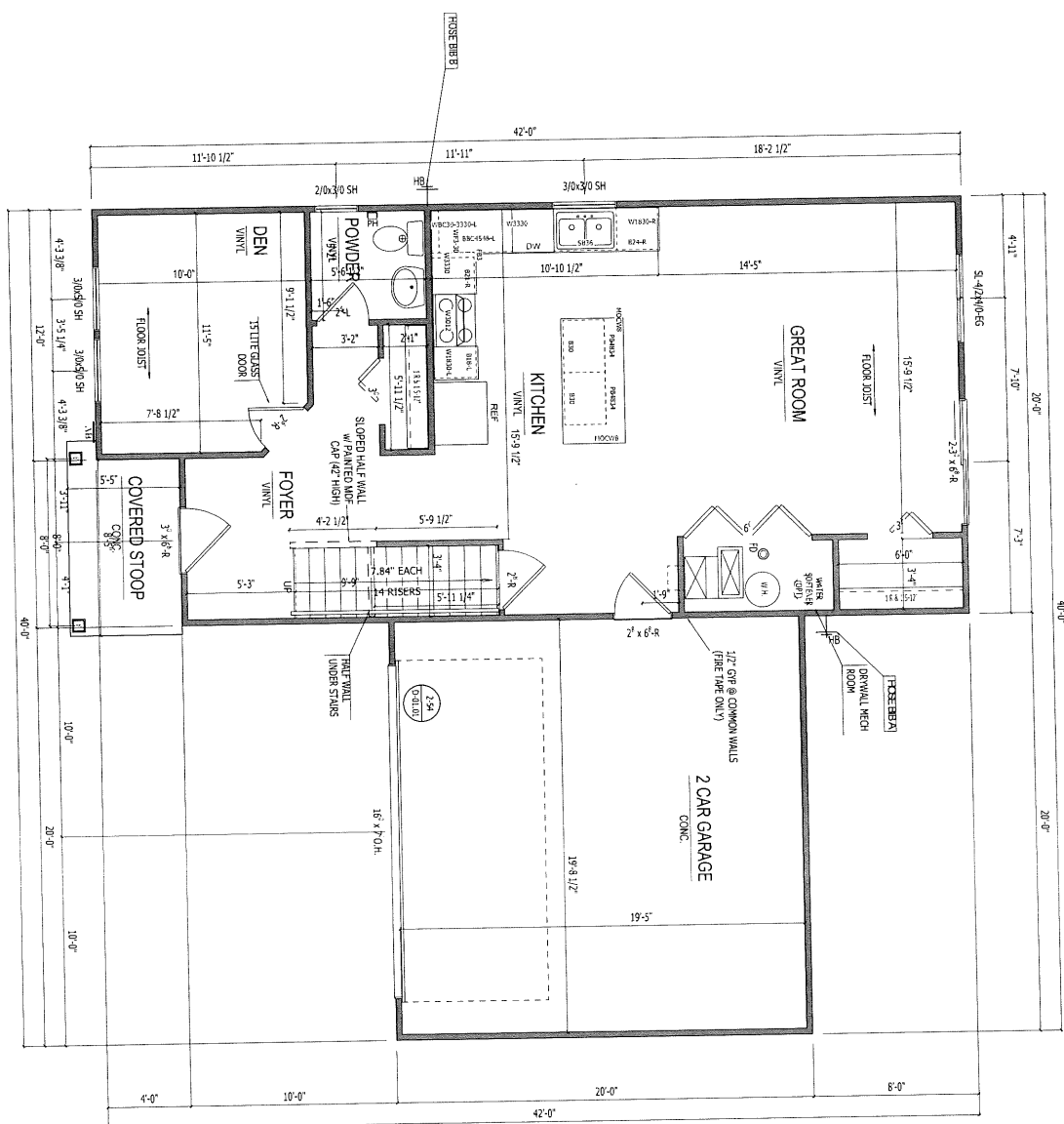
2186 E. Centre Street
Portage, MI 49002
(269) 321-2600
www.allenedwin.com

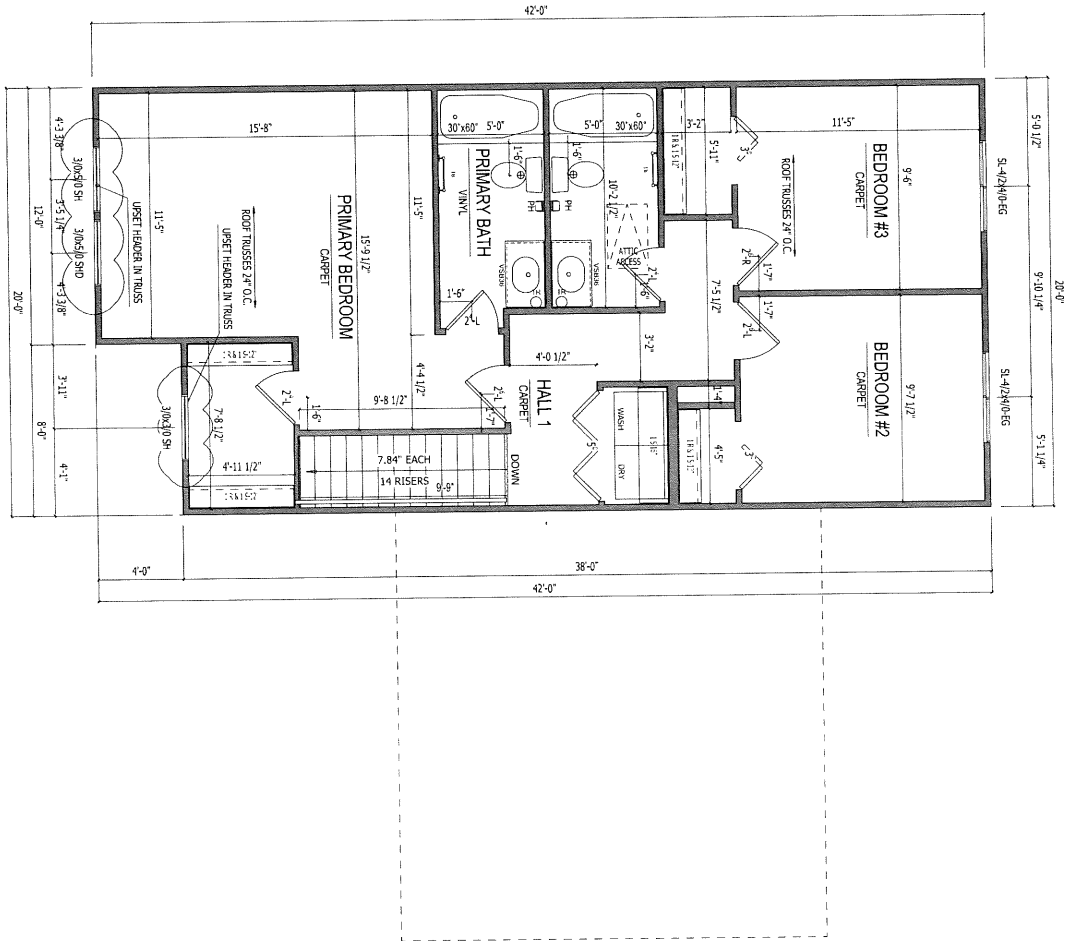
ELEVATION A1
GARAGE LEFT

REVISION 8.0a

REV. NO.	DATE	REMARKS

A-06

[illegible]



SECOND FLOOR i1640S

SCALE: 1/4"=1'-0"

A-08.00	i1640S		PRINT DATE 07/21/2023
	FOR: Allen Edwin Homes		
	LOT #:		
	LOCATION:		

ALLEN EDWIN HOMES	
2186 E. Centre Street Portage, MI 49002 (269) 321-2600 www.allenedwin.com	

ELEVATION A1		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION				

Village 1490MS

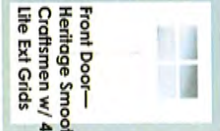
- Attached 4-Unit Townhome
- 1,490 square feet, 2-story
- 3 bedrooms/2½ bathrooms
- Attached 2 car garage (rear)



Roofing- Black



Front Door Color-Black
MOJO SW691



Front Door-
Heritage Smooth
Craftsman w/ 4
Lite Ext Grids



Vinyl Siding-
Smoky Quartz



Vinyl Siding-
Light Gray



Vinyl Siding-
Cedar Stone



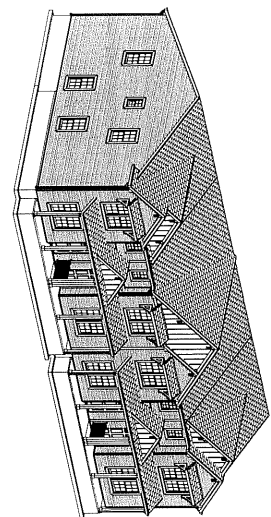
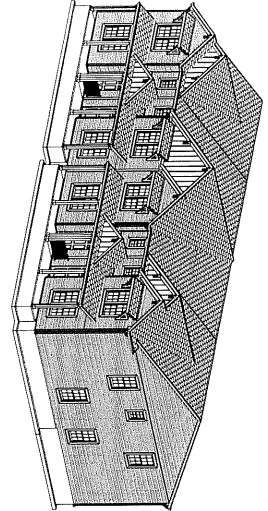
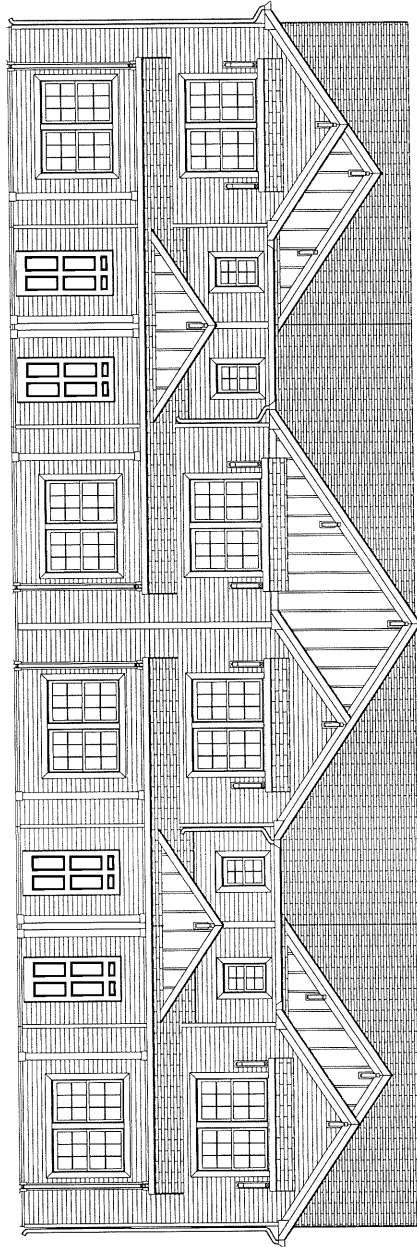
Garage Door-Long Panel w/
Stockton Windows



Stone-Weathered
Edge Mansfield
See Plan C for more details
Weathered Edge

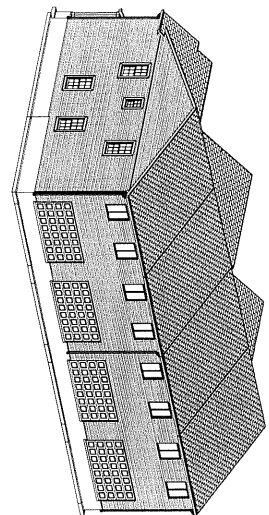
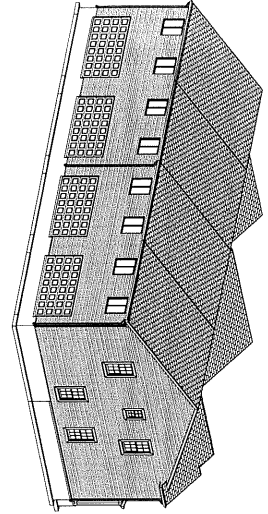
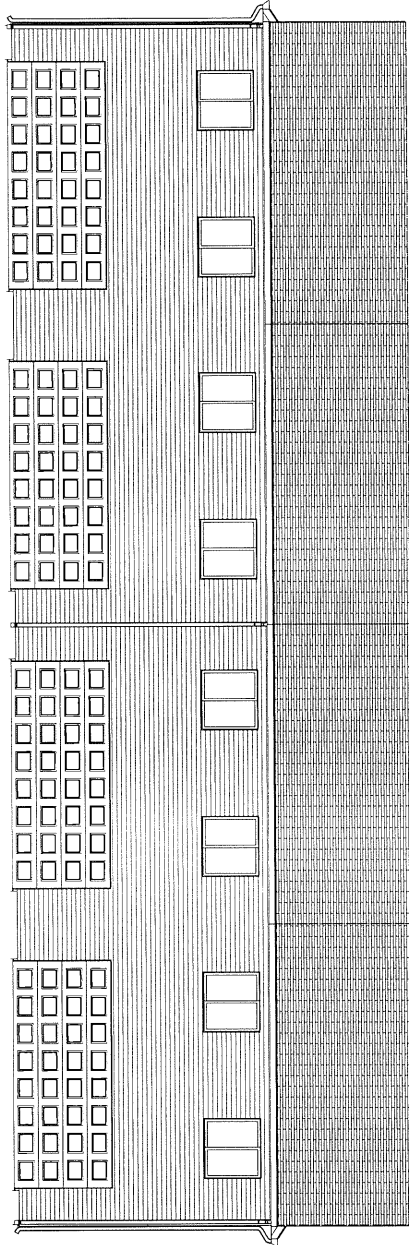
FRONT ELEVATION

SCALE 1/8"=1'-0"



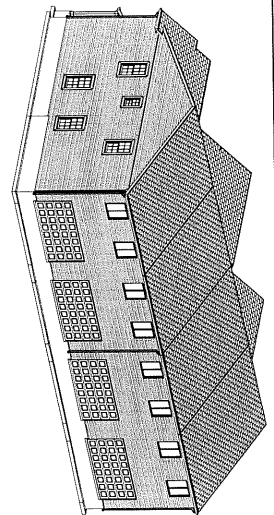
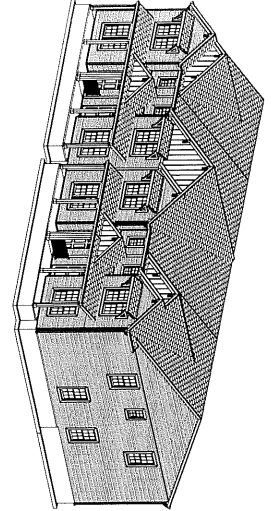
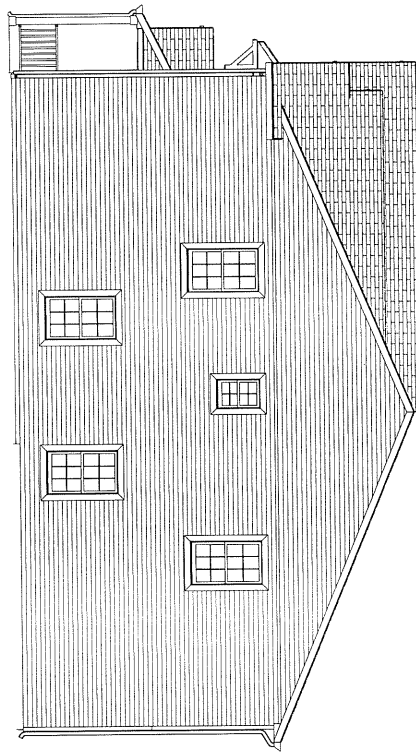
REAR ELEVATION

SCALE 1/4"=1'-0"



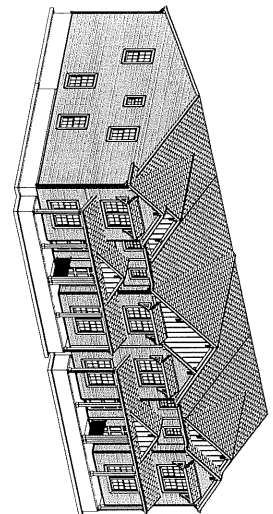
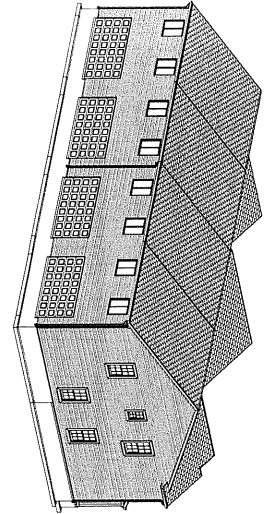
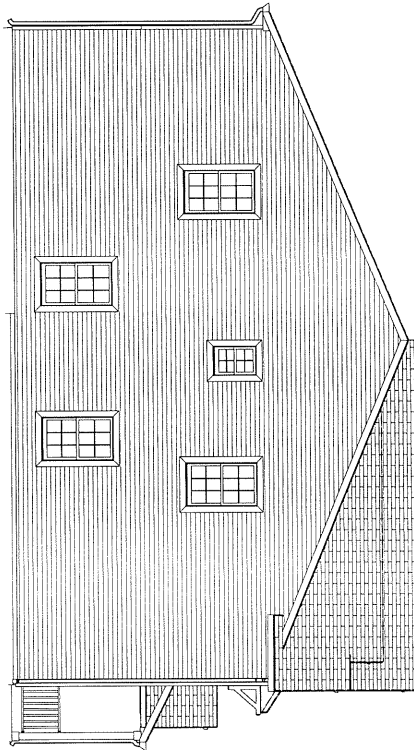
RIGHT ELEVATION

SCALE 1/4"=1'-0"



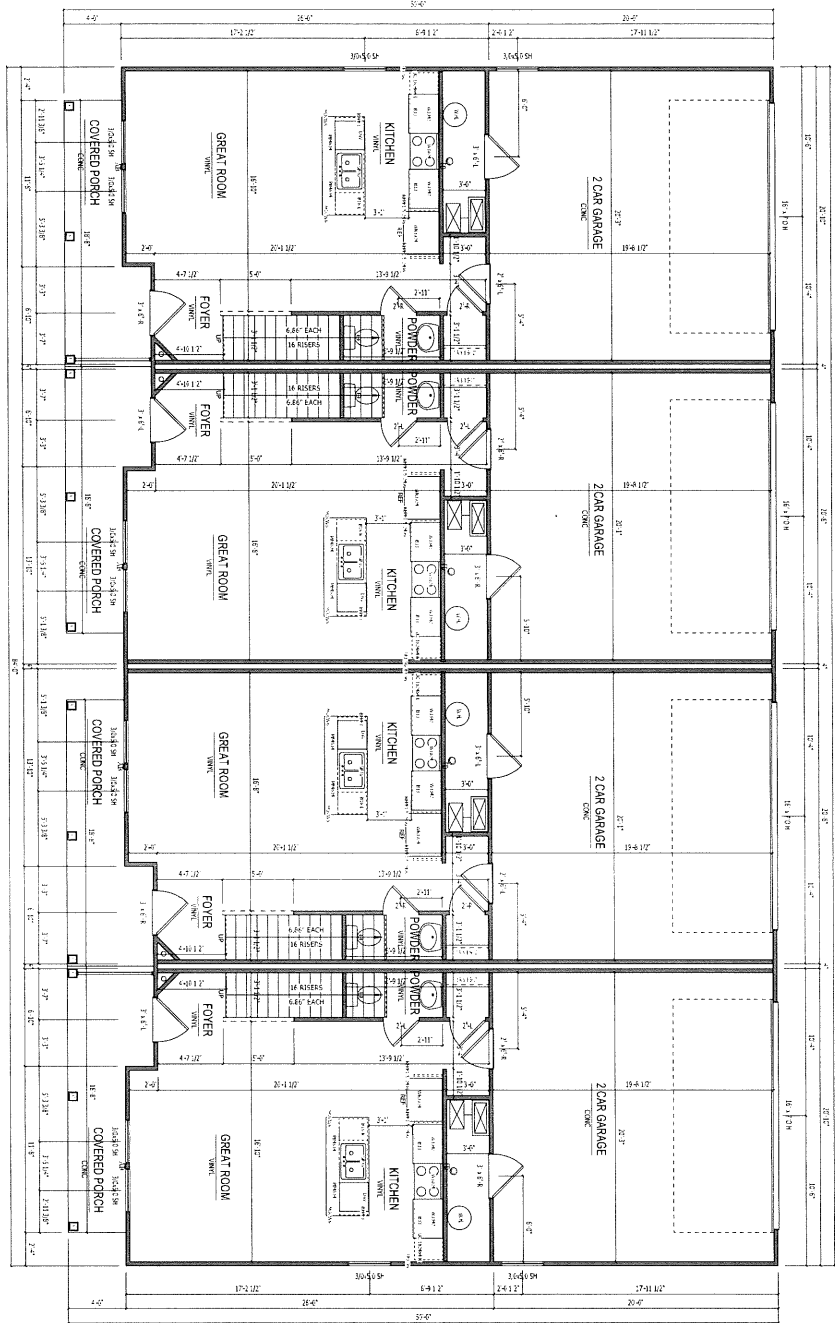
LEFT ELEVATION

SCALE 1/8"=1'-0"

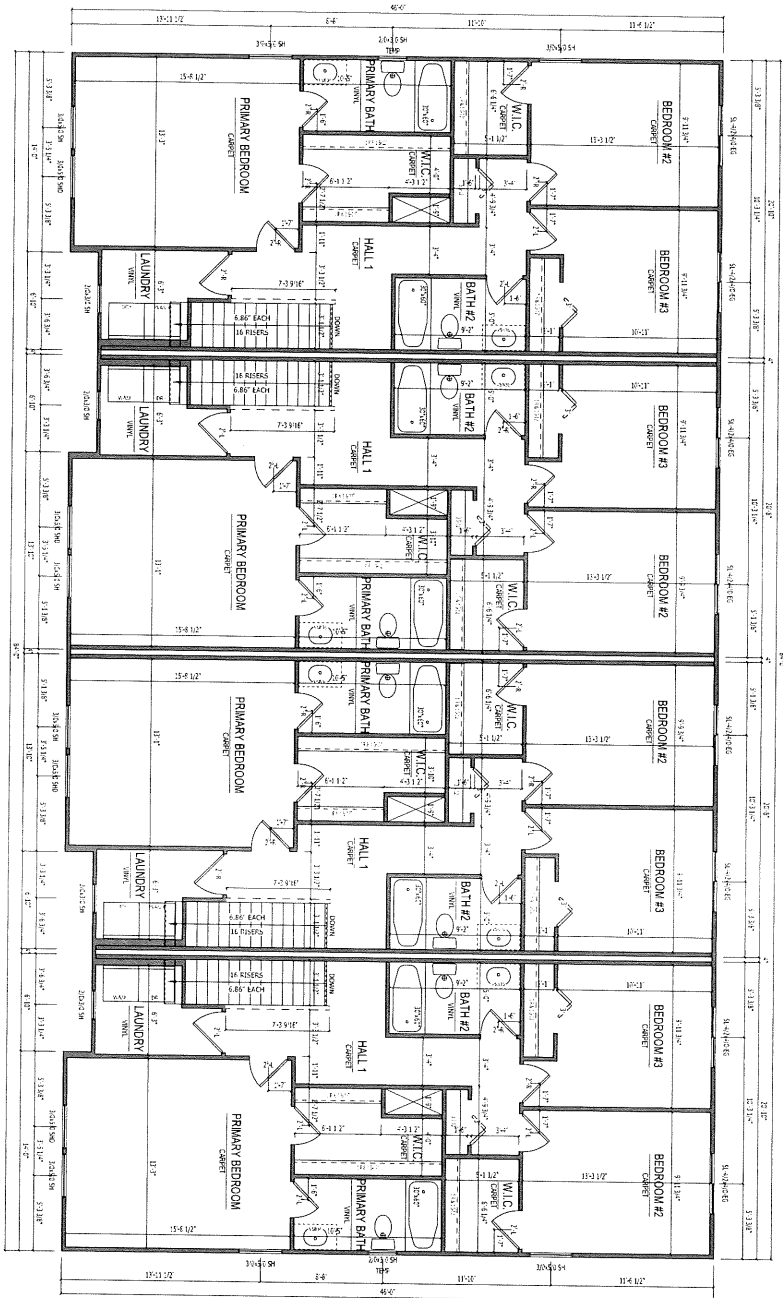


FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



1. GENERAL NOTES
2. SEE ELEVATION A1 FOR GARAGE RIGHT
3. SEE ELEVATION A1 FOR GARAGE LEFT
4. SEE ELEVATION A1 FOR GARAGE FRONT
5. SEE ELEVATION A1 FOR GARAGE BACK
6. SEE ELEVATION A1 FOR GARAGE SIDE
7. SEE ELEVATION A1 FOR GARAGE REAR
8. SEE ELEVATION A1 FOR GARAGE FRONT
9. SEE ELEVATION A1 FOR GARAGE BACK
10. SEE ELEVATION A1 FOR GARAGE SIDE
11. SEE ELEVATION A1 FOR GARAGE REAR
12. SEE ELEVATION A1 FOR GARAGE FRONT
13. SEE ELEVATION A1 FOR GARAGE BACK
14. SEE ELEVATION A1 FOR GARAGE SIDE
15. SEE ELEVATION A1 FOR GARAGE REAR



SECOND FLOOR PLAN

SCALE 3/8"=1'-0"

GENERAL FLOOR PLAN NOTES
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. DIMENSIONS ARE GIVEN TO THE CENTER OF THE WALL UNLESS NOTED OTHERWISE.
 3. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

Gaines Charter Township

Planning Commission Memo

Meeting Date: March 28th, 2024

AGENDA ITEM: VI.3.a

PROPOSED REQUEST: 4:1 Ratio Waiver

ADDRESS: 8269 Kalamazoo Ave SE

PARCEL NUMBER: 41-22-17-400-026

APPLICANT: Hudson Family Trust

FILE NUMBER: 240226EK

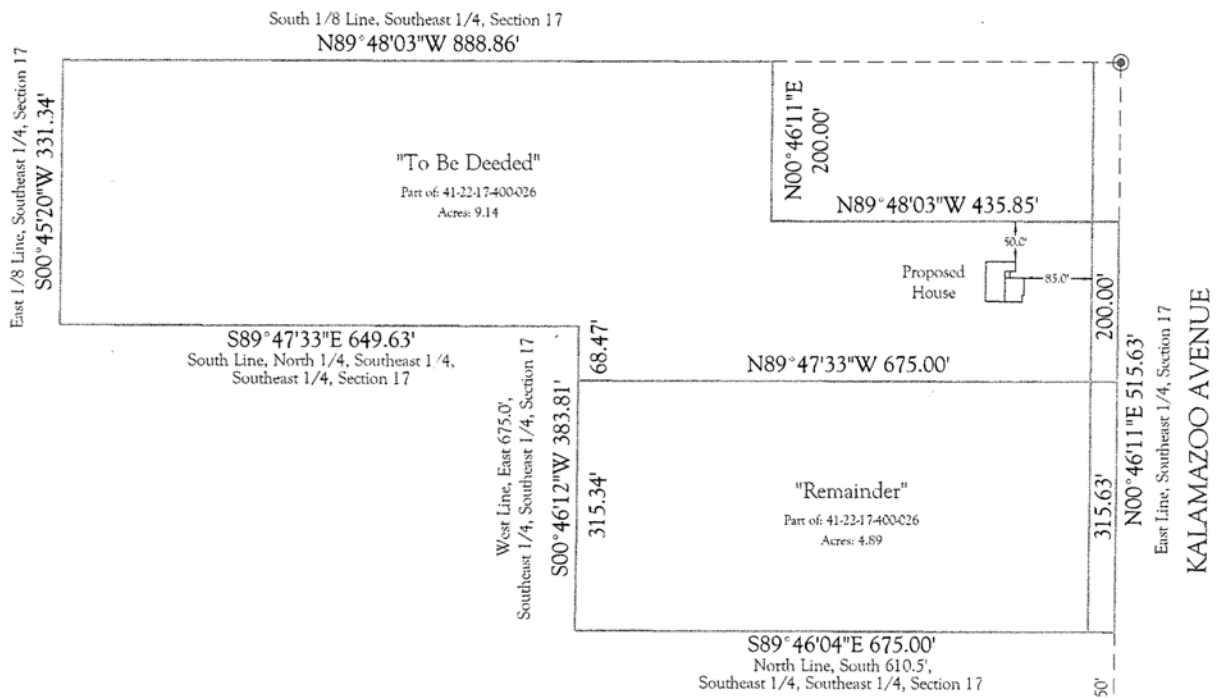
PROPERTY ZONING DISTRICT:
Agricultural/Rural Residential

PROPERTY SIZE: ca. 14 Acres

REPORT BY: Dan Wells, Community
Development Director

OVERVIEW

Hudson Family Trust requests a four to one (4:1) depth to width ratio waiver outlined in Section 22-24(4) of the Gaines Charter Township Land Division Ordinance. This request relates to the applicants' desire to divide their parcel and build a new single-family house ("To Be Deeded"). The waiver request is for the northern "To Be Deeded" parcel, and if approved would make the parcel 200-feet wide at its intersection with Kalamazoo Ave and 1,325-feet long east-to-west thus not complying with the 4:1 ratio requirement. The "Remainder" parcel would comply with Section 22-24(4).



DISCUSSION

The Planning Commission may waive the 4:1 requirement under certain circumstances as outlined in Section 22-24(4).

4) The ratio of depth to width of any parcel created by the division (including remnant parcels) shall not exceed 4:1. The planning commission may by resolution allow a greater depth to width ratio. In considering such authorization, the planning commission shall consider:

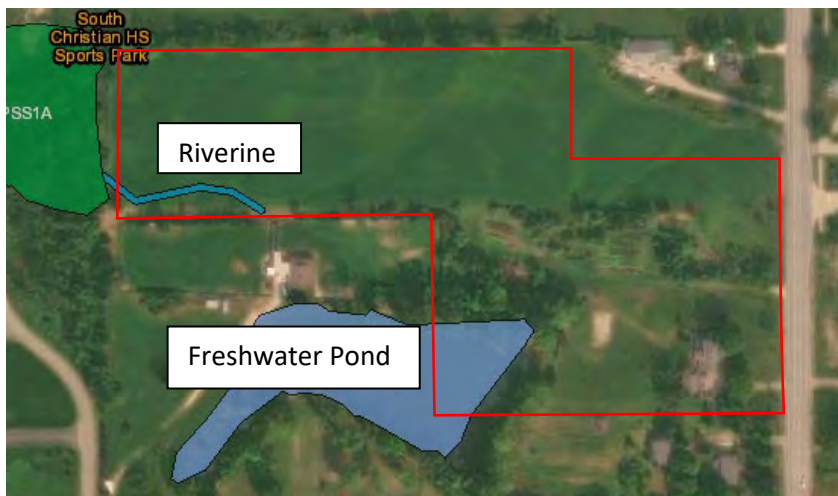
a. If there are any unusual topographic or physical conditions on the property;

Below is a 2-foot interval topographic map.



This is a wetland inventory map

<https://gis.kentcountymi.gov/public/publicviewerjs/index.html?ppn=41-22-20-200-017>



The majority of the parcel is gently sloped, would be relatively easy to develop and is not likely to contain wetlands.

b. If the parent parcel exceeds the four to one depth to width ratio and the division will bring the newly created parcel into greater compliance; or

The current parcel is the result of two parcels that were combined in 1999 and is a legal parcel. If approved for a ratio waiver, any further divisions will be reviewed for conformance with the Land Division Act and local ordinances governing land divisions.

c. If there are any other conditions on the property that would warrant the need for a greater depth to width ratio.

Further development of the parcel will be dependent on finding sites with adequate access, drainage, and soils for septic systems.

RECOMMENDATION

One additional aspect to consider is that this parcel is future zoned for retail/residential, a higher use of land than single family house development. There is the potential to build Village Neighborhood housing (townhomes, or small lot single family detached homes). This type of development would require a 66-foot private or public road easement be established to access the west end of the parcel.

If the planning commission determines a waiver is appropriate, a resolution has been prepared for consideration.

**CHARTER TOWNSHIP OF GAINES
COUNTY OF KENT, MICHIGAN**

RESOLUTION NO. 24-03-28-PC

The following Resolution was offered and adopted by the Gaines Charter Township Planning Commission at a regular meeting held on March 28th, 2024:

Members Present: _____

Member Absent: _____

The following Resolution was offered for adoption by Member _____ and supported by Member _____ to document the findings and decision by the Gaines Charter Township Planning Commission regarding a request made by the Hudson Family Trust (private landowner) for a 4:1 ratio waiver.

Depth to Width Ratio Waiver for Hudson Family Trust

WHEREAS, Hudson Family Trust has requested a 4:1 depth to width ratio waiver for a proposed land division; and

WHEREAS, the Planning Commission may waive the 4:1 requirement under certain circumstances as outlined in Section 22-24(4) of the Land Division Ordinance.

IT IS, THEREFORE, RESOLVED AS FOLLOWS:

1. The Planning Commission acknowledges the proposed division of the subject property and is confident the project will proceed as planned.
2. The Planning Commission approves the 4:1 ratio waiver for a single parcel to be created through a land division. The property is currently located at 8269 Kalamazoo Avenue SE, and the proposed parcel is described as follows:

PART OF SE 1/4 SE 1/4 COM 200.0 FT S 0D 46M 12S W ALONG E SEC LINE FROM NE COR THEREOF TH S 0D 46M 12S W ALONG E SEC LINE TO N LINE OF S 610.50 FT OF S 3/4 SE 1/4 SE 1/4 TH WLY ALONG SD N LINE TO W LINE OF E 675.0 FT OF S 3/4 SE 1/4 SE 1/4 TH N ALONG SD W LINE TO S LINE OF N 1/4 SE 1/4 SE 1/4 TH N 89D 47M 36S W ALONG SD S LINE 649.78 FT TO E 1/8 LINE TH N 0D 45M 22S E ALONG E 1/8 LINE 331.38 FT TO S 1/8 LINE TH S 89D 48M 05S E ALONG S 1/8 LINE 888.86 FT TH S 0D 46M 12S W 200.0 FT TH S 89D 48M 05S E 436.0 FT TO BEG * SEC 17 T5N R11W 14.03 A

PLANNING COMMISSION CONSIDERATION

The Planning Commission approves the 4:1 depth to width ratio waiver for the parcel proposed for Hudson Family Trust.

Planning Commission also permits staff to review any proposed alterations to the legal description provided above in the circumstance that that proposed parcel is altered prior to division.

The vote on the motion to adopt this Resolution was as follows:

Motion by _____ to approve the 4:1 ratio waiver resolution, support by _____.

YES: _____

NO: _____

ABSTAIN: _____

RESOLUTION DECLARED ADOPTED:

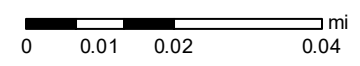
CERTIFICATION

I hereby certify that the above is a true copy of a resolution adopted by the Gaines Charter Township Planning Commission at a meeting held on March 28th, 2024.

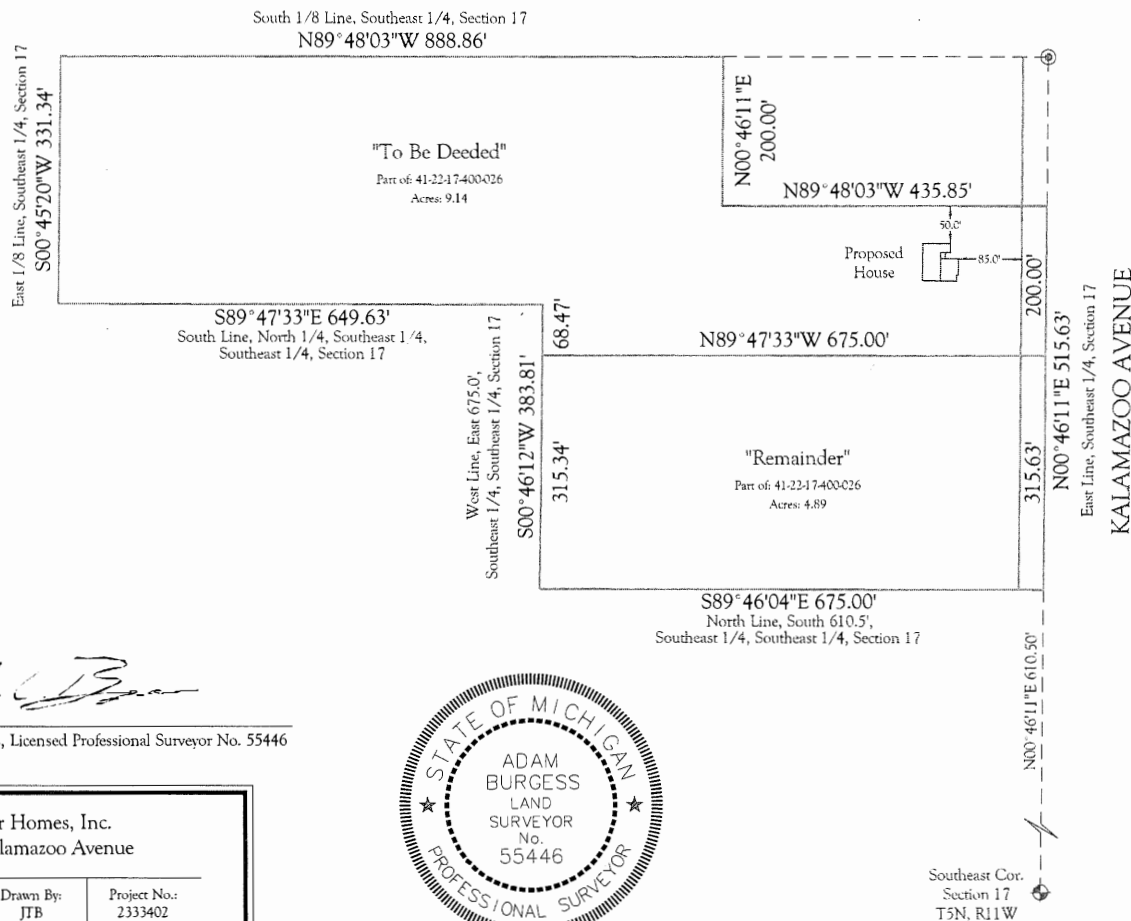
Respectfully submitted,

Lani Thomas, Secretary
Gaines Charter Township
Planning Commission

Dated: March 28th, 2024



Scale 1" = 200'



By:

Adam C. Burgess, Licensed Professional Surveyor No. 55446

Koster Homes, Inc.
8269 Kalamazoo Avenue

Date:
12/4/23

Drawn By:
JTB

Project No.:
2333402



SURVEYOR'S CERTIFICATE:

I certify that the requirements for 1970 PA 132, MCL 54.213 have been met. The relative positional precision of the corners identified for this survey and shown on the map are within the limits accepted by the practice of professional surveying.

This drawing was made from the description shown above. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.

"Remainder" Property Description:

That part of the Southeast 1/4 of Section 17, Town 5 North, Range 11 West, Gaines Township, Kent County, Michigan, described as: commencing at the Southeast corner of said Section; thence North 00°46'11" East 610.50 feet along the East line of said Southeast 1/4 to the point of beginning; thence continuing North 00°46'11" East 315.63 feet along said East line; thence North 89°47'33" West 675.00 feet to the West line of the East 675' of the Southeast 1/4 of said Southeast 1/4; thence South 00°46'12" West 315.34 feet along said West line to the North line of the South 610.50 feet of the Southeast 1/4 of said Southeast 1/4; thence South 89°46'04" East 675.00 feet along said North line to the point of beginning. Subject to restrictions, easements, and right-of-ways of record.

"To Be Deeded" Property Description:

That part of the Southeast 1/4 of Section 17, Town 5 North, Range 11 West, Gaines Township, Kent County, Michigan, described as: commencing at the Southeast corner of said Section; thence North 00°46'11" East 926.13 feet along the East line of said Southeast 1/4 to the point of beginning; thence continuing North 00°46'11" East 200.00 feet along said East line; thence North 89°48'03" West 435.85 feet; thence North 00°46'11" East 200.00 feet to the South 1/8 line of said Southeast 1/4; thence South 89°48'03" West 888.86 feet along said South line to the East 1/8 line of said Southeast 1/4; thence South 00°45'20" West 331.34 feet along said East line to the South line of the North 1/4 of the Southeast 1/4 of said Southeast 1/4; thence South 89°47'33" East 649.63 feet along said South line to the West line of the East 675' of the Southeast 1/4 of said Southeast 1/4; thence South 00°46'12" West 68.47 feet along said West line; thence South 89°47'33" East 675.00 feet to the point of beginning. Subject to restrictions, easements, and right-of-ways of record.